



Complete Agenda

Democratic Service
Swyddfa'r Cyngor
CAERNARFON
Gwynedd
LL55 1SH



Mae'r ddogfen hon hefyd ar gael yn Gymraeg.

This document is also available in Welsh.

Meeting

PLANNING COMMITTEE

Date and Time

1.00 pm, MONDAY, 27TH APRIL, 2026

NOTE

This meeting will be webcast

https://gwynedd.public-i.tv/core//en_GB/portal/home

Location

**Hybrid - Siambr Dafydd Orwig, Council Offices, Caernarfon LL55 1SH
and Virtually via Zoom**

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(DISTRIBUTED 17/04/26)

PLANNING COMMITTEE

MEMBERSHIP (15)

Plaid Cymru (10)

Councillors

Elwyn Edwards
Elin Hywel
Olaf Cai Larsen
Gareth A Roberts
Berwyn Parry Jones

Delyth Lloyd Griffiths
Gareth Tudor Jones
Edgar Wyn Owen
Huw Rowlands
Dafydd Meurig

Independent (4)

Councillors

Louise Hughes
John Pughe Roberts

Anne Lloyd-Jones
Gruffydd Williams

Gwynedd First (1)

Councillor Gareth Coj Parry

PROCEDURE FOR SPEAKING ON PLANNING APPLICATIONS IN THE PLANNING COMMITTEE

The Council has decided that third parties have the right to speak on planning applications at the Planning Committee. This leaflet outlines the normal operational arrangements for speaking at the committee.

1.	Report of the Planning Service on the planning application including a recommendation.	
2.	If an application has been received from a 3 rd party to speak the Chairman will invite the speaker to come forwards.	
3.	Objector or a representative of the objectors to address the committee.	3 minutes
4.	Applicant or a representative of the applicant(s) to address the committee.	3 minutes
5.	Local Member(s) to address the committee	10 minutes
6.	Committee Chairman to ask for a proposer and seconder for the planning application.	
7.	The committee to discuss the planning application	

AGENDA

1. APOLOGIES

To accept any apologies for absence.

2. DECLARATION OF PERSONAL INTEREST AND PROTOCOL MATTERS

To receive any declaration of personal interest and to note protocol matters.

3. URGENT MATTERS

To note any items that are a matter of urgency in the view of the Chairman for consideration.

4. MINUTES

6 - 14

The Chairman shall propose that the minutes of the previous meeting of this committee, held on, 23rd of March 2026, be signed as a true record.

5. PLANNING APPLICATIONS

To submit the report of the Head of Environment Department.

5.1. APPLICATION NO C25/0403/09/CR CORBETT ARMS HOTEL CORBETT SQUARE, TYWYN, GWYNEDD, LL36 9DG 15 - 45

Listed building consent (LBC) for the phased partial deconstruction and demolition of the building, and required support works to stabilise remaining structure.

LOCAL MEMBERS: Councillor John Pughe and Councillor Anne Lloyd Jones

[Link to relevant background documents](#)

5.2. APPLICATION NO C25/0705/11/LL COLEG MENAI, FRIARS BUILDING, COLEG MENAI, FFORDD FFRIDDOEDD, BANGOR, GWYNEDD, LL57 2TS 46 - 99

Demolish existing rear extensions and erect new two-storey extension together with landscaping works, erect new bike and bin store and re-organise layout of car park

LOCAL MEMBER: Councillor Elin Walker Jones

[Link to relevant background documents](#)

5.3 APPLICATION NO C25/0706/11/CR COLEG MENAI, FRIARS BUILDING, COLEG MENAI, FFORDD FFRIDDOEDD, BANGOR, GWYNEDD, LL57 2TS 100 - 145

Demolish existing rear extensions and erect new two-storey extension and internal alterations to main

LOCAL MEMBER: Councillor Elin Walker Jones

[Link to relevant background documents](#)

5.4 APPLICATION NO C25/0710/41/LL LAND ADJOINING BRYNHYFRYD/ CAE CAPEL, CHWILOG, LL53 6SF 146 - 190

Erection of 25 affordable dwellings, creation of new vehicular access from the B4354, together with associated works

LOCAL MEMBER: Councillor Rhys Tudur

[Link to relevant background documents](#)

5.5 APPLICATION NO C25/0947/25/EIA PENTIR SUBSTATION, BANGOR, LL57 4ED 191 - 217

Replacement of existing underground cables and installation of new cross site underground cables in the existing Pentir substation and ancillary works

LOCAL MEMBER: Councillor Menna Baines

[Link to relevant background documents](#)

PLANNING COMMITTEE 23rd March 2026

Attendance:

Chairman: Councillor Elwyn Edwards

Councillors: Delyth Lloyd Griffiths, Elin Hywel, Berwyn Parry Jones, Gareth T Jones, Anne Lloyd Jones, Cai Larsen, Dafydd Meurig, Gareth Coj Parry, Edgar Owen, John Pughe Roberts and Gruffydd Williams

Others invited: Elected members who had called in an application to the committee: Councillor Elin Walker Jones and Councillor Huw Wyn Jones

Officers: Iwan Evans (Head of Legal Services – Monitoring Officer), Gareth Jones (Assistant Head of Environment), Gwawr Hughes (Planning Manager), Elen Morris (Planning Officer), Dafydd Jones (Solicitor) and Lowri Haf Evans (Democracy Services Officer).

1. APOLOGIES

Apologies were received from Councillors Louise Hughes, Huw Rowlands and Gareth A Roberts; Councillor Siân Williams (Local Member – application 5.2).

2. DECLARATION OF PERSONAL INTEREST AND PROTOCOL MATTERS

Councillor Menna Baines (who was not a Member of this Planning Committee), in item 5.1 C25/0052/25/LL on the agenda, because she knew the applicant's sister very well, who was also involved in the business.

The Member considered it to be a prejudicial interest and did not attend the meeting.

3. URGENT ITEMS

As a point of order, it was reported that since the Chair was joining the meeting virtually, the Monitoring Officer would be announcing the results of the voting on the applications.

4. MINUTES

The Chair accepted the minutes of the previous meeting of this committee held on 2nd March 2026, as a true record.

5. PLANNING APPLICATIONS

The Committee considered the following applications for development. Details of the applications were expanded upon and questions were answered in relation to the plans and policy aspects.

**5.1 APPLICATION NUMBER : C25/0052/25/LL
14 Llys Castan, Ffordd y Parc, Parc Menai, Bangor, LL57 4FH**

A resubmission of an application to change the use of the existing B1 office unit into mixed-use consisting of a medical outpatient unit (use class D1) and office space (B1).

Attention was drawn to the Late Observations Form.

- a) The Planning Officer highlighted that this was a resubmission of an application that had been refused in November 2025 for a change of use from an office to a mixed-use Office/Medical Outpatient Unit within a vacant unit at Llys Castan, Parc Menai, Bangor. It was highlighted that the proposal was to make internal alterations to the ground floor only with a site plan for 13 parking spaces next to the unit, and 13 additional adjacent spaces, which would give a total of 26 parking spaces for the unit.

The unit is located within Parc Menai which has been designated in the Local Development Plan (LDP) as the Main Business Site of the Sub-Regional Centre; which is reserved for certain employment uses. It was explained that alternative uses were only permitted in exceptional cases, and that the plan's policies promoted town centre developments in order to improve the vitality and viability of town centres.

It was noted that, ordinarily, the application would be determined under delegated rights, but correspondence had been received from two local members to Bangor calling in this application to the committee.

Reference was made to Policy CYF5 which states that proposals to release land on existing employment sites safeguarded for Use Class B1, B2 or B8 in accordance with Policy CYF1 for alternative uses will be granted only in exceptional circumstances. Based on the information submitted, no special circumstances had been proven. In addition, the Local Planning Authority was not convinced that there were no suitable alternative sites within the development boundary for the proposed use.

It was noted that the agent had submitted additional information regarding properties that were unavailable at the time of completing the sequential assessment, along with confirmation of the reasons why they were not suitable. They had also highlighted situations where it was not appropriate to consider properties that are unable to meet the developer's commercial needs, and as a result, only sites that are available to rent are relevant in this case. Whilst the agent continued to be of the opinion that no other suitable property was available, the Local Planning Authority still believed that the proposal was contrary to Policy CYF5 of the LDP.

It was highlighted that policies PS15 and MAN 1 of the LDP opposed developments that would detract from the vitality and viability of town centres and retail areas, maximised opportunities to reuse suitable buildings in town centres, and opposed the extension of retail and leisure developments outside town centres unless they are supported by evidence of the need for additional provision, and meet the sequential approach set out in national planning policy. The Local Planning Authority continued to be of the view that the proposal could undermine the busyness, function and viability of Bangor City centre and therefore considered that the proposal did not comply with policy PS 15 and MAN 1 of the LDP.

It was reiterated that it should be ensured that the proposal complies with all the criteria of Policy ISA 2 of the LDP and, despite acknowledging all the background information submitted to explain the specialist and fairly unique nature of the proposed facility, it was considered that

the proposal was unacceptable based on principle as the proposed community facility was not located within the development boundary, near the development boundary, or within a cluster; the proposal was therefore contrary to the requirements of Policy PCYFF1 and ISA2 of the LDP.

It was reported that visual amenities, general and residential amenities, transportation and access issues, language issues, and biodiversity issues, had been fully addressed and assessed, as had all comments from those objecting.

Having considered all Planning considerations, it was considered that the proposal as submitted, was neither acceptable nor met the requirements of relevant policies. The Officers recommended that the application be refused.

- b) Taking advantage of the right to speak, an objector to the application made the following observations:
- That he had sound local knowledge and a professional and business understanding of the proposal
 - That the officer's recommendation to refuse was robust as was a second report by an independent planning consultant.
 - That two local Members to Bangor had called in the application, believing that there was a sound basis for doing so. His role was to highlight the flawed basis of their decision and refute the false merits of the proposal: The Members believed that the justification for the proposal was,
 - Suitable and compatible use in Parc Menai
 - Precedent of comparative uses at Parc Menai
 - Meeting a need in the area
 - No other location – need to pick up/drop off patients outside the door
 - He submitted personal comments that refuted the above views.
 1. Policies PS13 and CYF1 – Parc Menai has been designated as a Main Employment Site, and was therefore protected, primarily for B1 Planning Uses. While Policy CYF5 allows consideration of alternative uses on such designated sites, this would be subject to a series of criteria. The proposal does not meet the exceptional circumstances required to justify a non-Class B1 Use in this location, so the protected nature of the site would be jeopardised.
 2. Policies PS15 and MAN1 – uses that are more appropriate to a town centre location, and that are proposed outside that location, must be justified by evidential need and the available sites must be subjected to sequential testing. In this case, the proposed use would be more appropriate in a town centre location, where suitable sites are available, and it would contribute to the vitality, viability and regeneration of Bangor City centre. The business model and what appears to be a 'need' in this location is strongly challenged. There is no specific requirement to locate the business in this particular location, or near Ysbyty Gwynedd.
 3. Policy ISA2 – the proposed use is defined as a community facility, which must be located within a defined development boundary. In this case, the proposed use and location is contrary to policy and jeopardises the principles of locating community facilities in sustainable locations.
 4. Policies PS4, PS5 and TRA4 – the key principle is to locate developments, primarily used by the public, in a sustainable location, accessible by other modes of transport,

including walking and cycling. In this case, the Officer's supportive position, together with that of the Transport Unit, is the subject of debate based on key information:

- that the parking requirements identified for the proposed use have been greatly underestimated.
- The Arriva 5A bus service is not a 'regular' one as referenced, realistically. A bus service to this location has been greatly influenced by Parc Menai's employment trend, so only a morning and evening bus service is provided for office staff arriving at and departing from Parc Menai businesses.

In summing up, he noted,

- There was no rational justification for locating the proposal at Parc Menai.
- For the second time, exceptional circumstances had not been proven to contravene established planning policy
- That other more appropriate sites are available in town centre locations
- That the Highways Unit's report is erroneous and factually incorrect.
- That he was asking the Committee to acknowledge the Officer's recommendation and refuse the application.

c) Taking advantage of the right to speak, the applicant noted the following observations:

- The business would provide a specialist health service to local patients in response to the healthcare crisis in North Wales which has specialist waiting lists of up to 4 years.
- In 2023, the business, across its premises, had provided free access to 12,000 patients which resulted in the identification of 53 early cases of cancer.
- The unit at Parc Menai had been empty for a while. Although the unit has been on the market for 20 months, there has been no interest in office use and therefore, this clearly highlights that there is no demand for B1 use.
- Concerns suggest that a location in Bangor City Centre should be prioritised, but creating a health centre requires a calm environment, convenient access for vulnerable patients, good facilities, a door drop-off point and safe parking nearby. Realistically, Parc Menai is the only site that meets these requirements.
- The units in Bangor City Centre are unsuitable due to size, a lack of parking and its environment for vulnerable patients.
- That Cyngor Gwynedd has already accepted the principle – dentist and optician medical units already operate under the same use class in Parc Menai, why is it therefore not acceptable for this proposal?
- Planning policies should serve the people, not hinder improvements and access to people's healthcare. Asked the Committee to consider the wider picture and recognise the crisis and support the application in the interests of the community
- This is not just a decision for a building, but a decision that will give access to care and save lives

ch) Exercising the right to speak, one of the Members who had called in the application made the following observations;

- That Parc Menai's status as a Business Park had been meaningless in practice for years; an orthodontic business was granted permission by the Committee, and the concept was completely scrapped with Coleg Menai's application – despite officers having recommended that the application be rejected, it was permitted on appeal, and therefore, unlike the planning officers, PEDW (Planning and Environment Decisions Wales) did not recognise the Parc's status as a Business Park.

- The application granted permission by the Committee for an orthodontic business was granted primarily because of convenient access to a service. There had been a rationale to permit an orthodontic business because of accessible access, why not allow this?
- Locating the business in the city centre would not be reasonable for many
- It was essentially a consultation business with treatment rooms to support the consulting aspect. How different is this from going to get advice from a lawyer or accountant? – there were legal and accounting business units located in the Parc. What's the difference?
- Patients are unable to get to the service in the city centre
- Asking the Committee to approve the application.

d) It was proposed and seconded to approve the application, contrary to the recommendation.

Reason: That there were 'special circumstances' here and therefore the application complied with policy B1. It would be difficult for vulnerable people to access such a service in the city centre.

dd) During the ensuing discussion, the following observations were made by the Members:

- That the location was suitable and convenient for patients
- That Bangor City Centre is not suitable for this type of service – need convenient access for vulnerable patients.
- Improving Bangor City Centre or improving patient service? – access to the City Centre is difficult – North Wales Health Services need a boost
- Patient care is important.
- Changing people's shopping habits is needed in order to regenerate the City centre.
- Concern again that comments had not been received from Bangor City Council - what can the Committee do to facilitate this?
- That such a resource is needed, but is here the most suitable place?
- The Council was being criticised for moving businesses/services from the high street
- That there was a medical centre development for the City Centre which will be located near the bus station and within walking distance.
- Approving this would detract from the regeneration of Bangor City Centre – it would set a precedent.

In response to a question as to whether there were other vacant units at Parc Menai, it was confirmed that there were vacant units there, and that this had been submitted as part of the application by the agent.

RESOLVED: To APPROVE contrary to the recommendation.

CONDITIONS:

1. **5 years**
2. **In accordance with the plans**
3. **When the use hereby approved terminates, the use must be reinstated back into B1, B2 or B8 use.**

**5.2 APPLICATION NUMBER C24/0705/35/LL
Plas Newydd Residential Care Home, High Street, Cricieth, LL52 0RR**

Demolition of existing building and redevelop the site for 9 independent living flats (C3) with extra care service for those over 55 years old, 100% affordable

Attention was drawn to the Late Observations Form.

- a) The Planning Manager highlighted that this was a full application for the demolition of an existing vacant building (but which had previously been in use as a care/nursing home), and the redevelopment of the site by erecting a new building which would provide 9 affordable independent living C3 use flats with an extra care service for those over the age of 55.

It was explained that the proposal involved the erection of a 4-storey building, which would be slightly higher and set back within the site compared to the existing building. The ground floor would include a main entrance and foyer along with communal areas for residents and staff in the form of a shared living area, an outdoor decking or terrace to the rear, an office, toilet and kitchen plus one living unit. The rest of the living units would be spread over the three floors above and in the form of one-bedroom units. Each unit would provide an open plan living/kitchen area and a bathroom.

The site is situated within the development boundary of the town of Cricieth with the A497 class 1 road running parallel to the front of the site, and the Cambrian Coast Railway directly adjacent to the rear. It was reiterated that the site of the application forms part of a striking streetscape when approaching the town of Cricieth from the west.

It was reported that the proposal had been presented as separate living units, use C3 with extra care for those over the age of 55, with all units being affordable. It was accepted that the valuations for the units were appropriate for the location and for this type of development with a discount level of 30% being acceptable. It was noted that the floor area of the flats was in line with relevant guidelines relating to the size of affordable units. The evidence presented did not give absolutely clear justification of the need for the units, but it is widely recognised that there is a need for affordable one-bedroom units in Gwynedd; the proposal would provide for that need subject to a condition to secure their tenure as affordable units and for people over the age of 55.

It was expressed that policy ISA 2 in the LDP aims to protect existing community facilities and opposed loss or change of use. It was highlighted that a statement had been received from the agent confirming that the previous use of the property as a home had been decommissioned and that the building would no longer be suitable for this use. It was also noted that the statement also argues that the proposal provides a suitable facility for the community that enables older people to live in their community with suitable care; to this end, due to viability implications for continuing to improve the existing home, the proposal is considered to be consistent with the objectives of policy ISA 2.

It was pointed out that discussions had taken place between officers from the Planning Authority and the agent which highlighted concern about the design of the proposal. It was specifically noted that the proposed building would not blend in well with the surrounding area as it would dominate and be excessive within the local landscape. In response, the agent had confirmed that the applicant would not carry out any change to the design because the number of units needed to be kept as it was to ensure that the development was viable, and the need had been evidenced. As no proposal had been made to alleviate officers' concerns in relation to these issues, it was not considered that the current proposal was acceptable because of the detrimental effect on the character and appearance of the area, and that it was contrary to the relevant requirements of policies PCYFF 2 and PCYFF 3 of the LDP together with the advice within Technical Advice Note 12: Design.

In terms of the rear elevation of the building, and given that the building will be set further back with a significant increase in the rear bulk and mass of the new building compared to the existing building, this would appear overwhelming and oppressive when viewed from adjacent buildings and from the outside areas. This elevation would also extend beyond the rear of the adjacent buildings, and is likely to result in a significant enclosure effect of the gardens and rooms at the rear of these buildings. It was noted that an external balcony would extend out from the rear of the building, and its location and height would overlook the existing private grounds of adjacent buildings. In addition, there would be an increase in the number of relatively large glass openings at the rear and due to their presence on higher floors, they will also add to the appearance of over-looking. It was therefore considered that the proposal would cause significant harm to the living conditions of neighbouring residents and would not comply with Policy PCYFF 2 of the LDP which seeks to prevent unacceptable adverse effects on the amenity of occupiers of local residences.

It was noted that visual amenities, general and residential amenities, transportation and access issues, language issues, and biodiversity issues, had been fully assessed and were acceptable. Having considered all Planning considerations, it was considered that the proposal as submitted, was neither acceptable nor met the requirements of relevant policies. The Officers recommended that the application be refused.

b) Taking advantage of the right to speak, an objector to the application made the following observations:

- That she was representing her parents, the owners of Hen Berllan, which is located next door to the site of the application.
- That she welcomed the officers' conclusions which highlighted that the proposal is not suitable for the site.
- The proposal would replace a 3-storey building with a 4-storey building plus extend it further to the rear. As the officers had noted, this would appear dominant and excessive within the local landscape and would not integrate with adjacent streets.
- That the officers' comments reflected the concerns of residents who shared their objection – the proposal would introduce a structure that is inconsistent and oppressive, completely unlike the character of neighbouring properties.
- It would have a significant impact on neighbouring residents – a higher scale and the extension to the rear would seem domineering and oppressive from the property next door – Hen Berllan.

- The proposed balcony and top-floor openings would directly overlook private lands and would lead to a clear loss of privacy – the proposal creates significant harm to the living conditions of nearby residents.
- Neither the design, scale nor form of the proposal were acceptable
- Asked the Committee to refuse the application in accordance with the recommendation.

- c) Taking advantage of the right to speak, the agent noted the following observations:
- The proposal would provide 100% affordable units for local people in response to the need for sustainable dwellings.
 - The introduction of the apartments would free up housing for the County's young families.
 - That Medicare (the applicant) is already offering Gwynedd 6000 hours of domiciliary care per month, along with access to 84 dementia beds on their sites – this highlights their expertise and care for residents.
 - That the units are a means of keeping people in their own homes and taking pressure off nursing beds.
 - The applicant is ready to discuss this vital local housing provision with the officers.
 - That issues such as design, mass and amenity are the considerations that are holding back the decision – these should be outweighed by the obvious need for this type of housing in Cricieth and in Gwynedd.
 - That the delay by Gwynedd planning officers for additional information and revisions is economically unviable – the proposal must be viable to provide 100% affordable units.
 - Work could start immediately – the SAB (SuDS Approval Body) has already approved – the Planning Department is holding this vital proposal back.
 - That the revised plan is marginally larger than the existing property – this allows for the maximum possible number of units on site and makes the best use of the land.
 - Providing fewer than nine units would be unjust and impractical for a site of this size.
 - The design is considerate of materials and colour palettes that blend in with the local pattern – a contemporary and fit-for-purpose design.
 - For the committee to be aware, a planning inspector may agree with the applicant by stating that the provision of housing is more important than the design of the scheme, in cases where demand is very obvious.
 - Providing housing in an area where there is evidence of need should be more important than design – design is a matter of opinion, a trivial matter given the need.
 - A similar application was recently approved in North Wales where it was found that the need had won over size and design considerations.
 - The building contributes to a positive response to the housing crisis in the area.

- ch) The Local Member, although having had apologised, had presented the following observations:
- That she opposed the application because of the visual impact of the development and its impact on the residential amenities of nearby neighbours
 - Health and Safety concern due to proximity to the railway
 - Parking concerns
 - It would cause disruption in light of any demolition

- d) It was proposed and seconded to refuse the application.
- dd) During the ensuing discussion, the following observation was made by a Member:
- That Gwynedd planning policies were not trivial.

RESOLVED To delegate powers to the Head of Environment Department to refuse the application:

- 1. It is not considered that the design of the proposal, in terms of layout, scale and mass adds to enhancing the character and appearance of the site context nor does it fully integrate within the context of the immediate streetscape and its prominent location in this part of Cricieth. Therefore, the proposal is contrary to the relevant requirements of policies PCYFF 2 and PCYFF 3 of the Anglesey and Gwynedd Joint Local Development Plan, 2017 together with part 2.6 of Technical Advice Note 12: Design, which states that design which is inappropriate in its context, or does not take advantage of opportunities to enhance the character, quality and function of an area, should not be accepted, as it will have detrimental effects on existing communities.**
- 2. Due to the scale, mass and location and certain features to be included in the proposed development, it would lead to an intrusive and domineering impact on adjacent properties and their curtilage. It is therefore considered that the proposal would have a significant adverse impact on the amenities of residents of local properties contrary to criterion 7 of policy PCYFF2 of the Anglesey and Gwynedd Joint Local Development Plan, 2017.**

The meeting commenced at 13:00 and concluded at 13:50

CHAIR

PLANNING COMMITTEE	DATE: 27/04/2026
REPORT OF THE ASSISTANT HEAD OF DEPARTMENT	

Number: 1

Application Number: C25/0403/09/CR

Date Registered: 30/05/2025

Application Type: Listed Building

Community: Tywyn

Ward: Morfa Tywyn

Proposal: Listed building consent (LBC) for the phased partial deconstruction and demolition of the building, and required support works to stabilise remaining structure.

Location: Corbett Arms Hotel Corbett Square, Tywyn, Gwynedd, LL36 9DG

Summary of the Recommendation: TO APPROVE WITH CONDITIONS

PLANNING COMMITTEE	DATE: 27/04/2026
REPORT OF THE ASSISTANT HEAD OF DEPARTMENT	

1. Description:

1.1 This is a listed building application for the phased partial deconstruction and demolition works of the Corbett Arms Hotel building and support works to stabilise remaining structure. During the course of the application and having received further information, the amount of demolition works has been reduced and the demolition works are now to the rear portion of the building only. This is explained further below.

1.2 The building is a former hotel, a substantial 3 storey structure including an attic which fronts Corbett Square and with its gable end facing Maengwyn Street. There are later additions to the left-hand side of the building and to the rear. The gable end on Maengwyn Street has adjoining residential properties. Cadw's listed description is as follows:

A hotel in late-Georgian style of 10 bays and 3 storeys and attic, of scribed roughcast painted cream, slate roof on deep bracketed eaves, and brick stacks to the front roof slope. Openings are not quite symmetrical. They are grouped 4+6 bays, with the original part of the hotel on the R side and the extension of 1900 on the L. The R-hand has rusticated quoins. The L-hand has rock-faced quoins. Windows are horned sashes with 12-panes in the upper sash and 2 panes in the lower sash. Lower and upper-storey windows have moulded cornices. The middle storey has bracketed cornices with alternate segmental and triangular pediments. The 2 central bays have similar pediments to the upper-storey windows, beneath a gable bearing a coat of arms and a pediment on consoles which is inscribed 'JC 1900AD'. The main entrance is in the 9th bay, and has a C20 glazed porch under a hipped slate roof. The 4th bay also incorporates a panelled door and overlight, under a cornice linked with the window immediately to its L. There are 8 roof dormers with segmental pediments and 16-pane horned sash windows.

The R gable end is asymmetrical. On the L side it has sash windows in the middle and upper storeys, of small-panes upper sashes over 2-pane lower sashes. On the R side of the apex are 2 windows in each storey, all sashes similar to the front except for a 2-light inserted window in the lower storey. A 1-bay rear extension has similar windows.

The L gable end is of rock-faced stone. It has an added brick stack, small-pane sashes and inserted windows. In the rear elevation the 4 added bays are of snecked rock-faced stone with lighter quoins. Sash windows and dormers are similar to the front. Alternate bays have 2-storey canted bay windows. The centre has a gabled brick stair projection, to which a conservatory has been added. Set back further L the wall is also of rock-faced stone and the return wall of the rear extension, of rubble stone, with windows similar to the front.

1.3 Listed in 1951, it is described as being listed “for its special architectural interest as a prominent building of definite and striking architectural character, its 2 phases representing the development of Tywyn as a resort in the C19, and for its contribution with other buildings in Corbet Square, Red Lion Street and Maengwyn Street, to the historical integrity of the old town centre”.

1.4 The use as a hotel ceased around 2009 when it closed, and little maintenance was undertaken to the building in the following years with the building falling into continued disrepair. Two recent collapses to the rear of the main building occurred in January and February 2025. These collapses were contained to the rear of the building, which included the area known as the ball room. The Royal Commission on the Ancient and Historical Monuments of Wales were notified upon the collapses and subsequently visited the site to undertake some emergency recording work.

1.5 A structural survey report, demolition and deconstruction methodology as well as a Heritage Impact Assessment was submitted with the application. In order to understand the proposal, the footprint of the whole building has been divided into zones for ease of reference, with the conservatory (a more recent addition to the building) being zone 1, the ball room is Zone 2, Terry's bar (which is physically attached to no 22 Maengwyn St) zone 3, the gl hazed infill directly being the ballroom is zone 4. The remainder of the main part of the hotel which fronts both Corbett Sq and Maengwyn St is zone 5, the middle part of the main building is zone 6, the right hand side of the building and the boiler house are zones 7 and 8. Initially the proposal involved the demolition of zones 1 -5

PLANNING COMMITTEE	DATE: 27/04/2026
REPORT OF THE ASSISTANT HEAD OF DEPARTMENT	

based on the structural stability of the building due to health and safety grounds following the recent collapse. For clarity, zones 4 and 2 are the areas which collapsed in January and February of 2025. However, following assessment of the initial application, the scale of this demolition has now been reduced to only include Zones 1, 2, 4 and parts of zone 5. Zone 5 has now been further sub-divided into 5A, B and C, with only 5A being proposed for demolition.

- 1.6 The application therefore includes zone 1, the modern conservatory, zone 2 the already collapsed ball room, zone 4 – the glazed infill which again has already seen a collapse and also zone 5A and it is on this basis therefore that the application is assessed.
- 1.7 The additional information submitted with the application states that the demolition works will be undertaken using a high reach machine primarily due to health and safety factors, as it has been concluded that a crane, man-rider basket or a mobile elevating work platform (MEWP) would not be safe.
- 1.8 The details also refer to the “making good” of the building after the demolition works, and this has been included as weatherproofing to make the building water-tight in the form of a temporary roof and wall of metal cladding. No details on the long-term repair of the area of demolition has been included within the application.
- 1.9 Corbett Arms lies within the development boundary of Tywyn with a class 1 highway running directly past the gable end (Maengwyn St) and to the front. The building is a grade II listed building (ref 4643) and the site lies within the Landscape of Outstanding Historic Interest. The building is also considered as being at risk on the At Risk database supplied by Cadw.

2. Relevant Policies:

- 2.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 and paragraph 2.1.2 of Planning Policy Wales emphasise that planning decisions should be in accordance with the Development Plan, unless material considerations indicate otherwise. Planning considerations include National Planning Policy and the Local Development Plan.
- 2.2 The Well-being of Future Generations Act (Wales) 2015 places a duty on the Council to take reasonable steps in exercising its functions to meet the 7 well-being goals within the Act. This report has been prepared in consideration of the Council’s duty and the 'sustainable development principle', as set out in the 2015 Act. In reaching the recommendation, the Council has sought to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs.
- 2.3 **Anglesey and Gwynedd Joint Local Development Plan 2011-26, adopted 31 July 2017**
PS 20 Preserving and where appropriate enhancing heritage assets

2.4 National Policies:

Future Wales: The National Plan 2040
 Planning Policy Wales (Edition 12 - February 2024)
 Technical Advice Note 24: The Historic Environment
 Managing Change to Listed Buildings in Wales

Legislation

Historic Environment Wales Act 2023

Section 96(1) provides that a planning authority or the Welsh Ministers may grant or refuse listed building consent.

In reaching a decision on an application, subsection (2) of section 96 requires that a planning authority or the Welsh Ministers must have special regard to the desirability of preserving the listed building, any features of special architectural or historic interest and the building’s setting.

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3. Relevant Planning History:

- 3.1 5/42/LB489 – Extension of Hotel into adjoining houses 20, 21 and 22 Maengwyn Street and erection of fire escape at rear – 22/01/1980
5/42/LB489A – Full permission for construction of ground floor extension at rear – 23/01/1981
5/79/LB65B – Full application for conversion of outbuilding to hotel accommodation – 15/02/1991
5/79/LB65 – Internal alterations and changes to front porch – 01/05/1987

4. Consultations:

Community Council:

Comments dated 05/02/2026

This application was discussed at length at the January Ordinary Meeting of Tywyn Town Council. Following the discussion, Councillors proposed to object to the revised planning application on the grounds that the smaller element of demolition is not advantageous to the people or business of Tywyn and that there is no clear timescale for the road closure to be lifted. The original application with the larger element of demolition was considered preferable as the road closure would be able to be lifted

Comments dated 08/07/2025

We have been made aware of the possibility that sections of this listed building may be selectively demolished due to collapse of a small part of the structure. Due to previous unregulated building practices, there is a danger that this may further weaken the structure and cause further unplanned collapses, leading to the necessity of total demolition. We wish to emphasise that this is the opinion of an independent surveyor of older buildings. We wish, also, to point out that this building is prominent in an area of architectural interest in Tywyn and is of value not only to the town itself, but to the surrounding area. Both Aberdyfi and Tywyn share a historically close connection, due to the former Corbet and Corbett estates and their land holdings. The loss of the Corbett Hotel in Aberdyfi, leaving only a lane of this name in the village is regrettable, as is the loss of the mansion of Ynysmaengwyn, a building of great architectural merit, which was in the case of a previous public body. It is not possible in these days of austerity to recreate these important historical legacies. The Corbett Arms Hotel in Tywyn should not be allowed to follow the same fate. When it has already been given the accolade of formal listing we should be doing everything possible to repair it and ensure that, even if repurposed for modern requirements, it continues to give substance and importance to this area of Gwynedd. We feel that further investigation of this situation is necessary, including assessment of local desire to support financially the repair of this building, while a buyer is sought and the future use is explored.

Council for British Archaeology: Comments dated 19/01/2026

Thank you for notifying the Council for British Archaeology (CBA) about revisions to the above application.

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Having previously objected to the quantity of demolition proposed at the Corbett Arms Hotel as excessive and unjustified, the CBA broadly welcome the revised approach now proposed towards the building, which will retain considerably more of its significant fabric.

The CBA welcome the applicant's structural engineering contractors, JEA, engaging with the alternative strategy proposed by Jon Avent of Mann Williams (civil engineers, commissioned by SAVE Britain's Heritage), including the retention of cross walls, chimney stacks, spine walls and the potential role of 'Cintec' anchors to stabilise the building, reducing the extent of deconstruction needed. The revised approach appears a lot more consistent with the stated aim of stabilising and retaining as much of the building as possible.

The CBA welcome consideration at this stage of how the remaining structure will be supported, made secure and watertight following any deconstruction of the unstable elements. Noting the history of the building and recognition that the next stage of securing a future for the site may be complex and drawn out, we believe success in achieving structural stability, security for the site and safeguarding of reusable materials will be important in reaching a holding position that is appropriate for the listed building and in line with legislation and planning policy for the safeguarding of heritage assets.

Other important information that appears to be missing at present is a methodology for the proposed works, ensuring this constitutes careful deconstruction rather than an approach to demolition that is likely to create increased instability. Although we recognise the need for an iterative strategy, given the history of this application to date, we believe that a dismantling methodology should be secured as part of any planning and Listed Building consents.

The CBA are happy to withdraw our previously stated objection and instead offer our cautious support for these revisions, provided you and your conservation advisors are content these revisions meet the requirements of TAN 24, paragraph 5.15 and that the methodology for these works will not have the effect of destabilising remaining elements of the building, and that the site will be left stable, secure and watertight once the permitted works are completed.

I trust these comments are useful to you; please keep the CBA informed of any developments with this case.

Comments dated 18/06/2025

Thank you for notifying the Council for British Archaeology (CBA) about the above application.

We are extremely concerned about the scope of works proposed to stabilise the listed building, which we believe would amount to an unjustified level of demolition. We are aware of an assessment undertaken by Mann Williams, a company of Consulting Civil and Structural Engineers, instructed by SAVE Britain's Heritage. Their Structural Review finds the zones and extent of proposed demolition to be contrary to the aim of stabilising the structure, unsupported by your LPA's monitoring of the building and not to be a solution 'of last resort'. As I am confident you will also be familiar with Mann Williams' report I will not repeat its findings in detail. However, I would like to state the CBA's objection to the currently proposed works as unjustified, based on the Mann Williams report's findings.

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The CBA appreciate your LPAs duty to stabilise the building and prevent any further collapse, with its potential for serious impacts in the public realm. However, as a Grade II Listed building and prominent feature within the setting of neighbouring Listed buildings, its demolition “should be considered as exceptional and require the strongest justification” (PPW, Policy 6.1.12). We do not believe justification for the extent of demolition to be apparent. We recognise the need for careful dismantling of compromised aspects of the building but believe the imperative for demolition works to be ‘exceptional’ and with the ‘strongest justification’ should be understood as an imperative to minimise the extent of demolition to that necessary to stabilise the building. We agree that this will need to follow an iterative strategy, but based on the identified structural rigidity of the cross walls with chimney stacks and spine wall within the areas proposed for demolition, we do not believe that zones 1 – 5 should be demolished as an initial phase. The majority of the oldest parts of the building are located within these zones. We believe an iterative approach should aim to retain as much of these early phases as possible.

The CBA urge your LPA to revise its approach towards the partial demolition of the Corbett Arms Hotel. We advise the contrary proposal presented in the Mann Williams report warrants consideration by the applicants as an alternative strategy that would better meet the requirements of PPW, policy 6.1.12 and TAN 24, paragraph 5.15. The CBA object to these proposals in their current form.

I trust these comments are useful to you; please keep the CBA informed of any developments with this case.

The Victorian Society:

Comments dated 20/01/2026

Thank you for consulting the Victorian Society on this application. This case was taken to our Buildings Committee (a group of architects, historians and heritage professionals), who discussed this case in detail at their January Meeting. Having considered the proposal carefully, we object to these plans in their current form.

Built in the early C19th, with extension and refronting c.1900, The Corbett Arms Hotel is a Grade II-listed building meaning it is recognised for its national significance and special interest. Perhaps most famously, it was visited by John and Yoko Lennon in 1969 with their children. Crucially, the Corbett Arms represents an important part of Welsh national and local history, especially the rise of tourism to Welsh coastal towns from predominantly English industrial cities like Liverpool, Manchester and Birmingham in the C19th and C20th. This building has architectural interest and a profound sense of authority and dignity which is common for C19th hotels. It is a building that is well connected to its surroundings and to Tywyn as a whole, contributing politely to its setting; The Corbett Arms is highlighted in Pevsner’s ‘Buildings of Wales’, such is the impact and interest of this building.

This application is an amendment of an earlier application which the Council for British Archaeology, the Georgian Group, Council for British Archaeology and the Victorian Society, as well as SAVE Britain’s Heritage, all objected to. The last Victorian Society objection was dated 18 June 2025. This specific application proposes

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a reduced scheme of demolition, but still envisages a large amount of historic fabric being lost from the listed building.

As a Society, we cautiously welcome the reduced scale of demolition, which would now appear to be confined to the purely necessary and urgent aspects of the building. This is particularly true for 'Zone 5', which was originally to be lost, but now is proposed to be kept. This is a positive step in finding a sustainable and appropriate reuse for this nationally significant building.

Future of the Corbett Arms Hotel

The Victorian Society remains seriously concerned for the future of the building. As a listed building, it is protected for its national significance and special interest; this essentially equates to 'consent for demolition should not be given simply because redevelopment is economically more attractive than the repair and re-use of a historic building' (TAN24, paras. 5.15 and 6.13). In this case, the 'merits for alternative proposals for the site' have yet to be demonstrated and there would seem to be a distinct lack of provision for sustainable reuse and future development for the building.

Hotels, by their nature, are easily adapted into other forms of residential and holiday accommodation; this is primarily due to their planform and provision of services. We are concerned that this application would appear to not have adequately addressed or considered any sustainable reuse for this building, nor does it detail how the building will be made safe in the long-term.

In light of the application noting 'that it is reasonable to have little confidence that the owner will bring forward a scheme for the building', the Victorian Society highlights the responsibility of Cyngor Gwynedd in helping to secure long-term, appropriate and sustainable reuse for this significant building. We understand that the responsibility for the future of this building lies with the Local Authority, if and when the legal owners are unable/unwilling to assume responsibility. It is also the role of the Local Authority to 'work with owners... to help find a solution when listed buildings are at risk [and to] be prepared to exercise planning control and building regulations to enable appropriate renovation and reuse' (Managing Listed Buildings At Risk in Wales, CADW 2017). This is especially keen when it is evident, through this application, that Cyngor Gwynedd is aware that the future of this building is fragile, and work must be done imminently to secure its long-term, sustainable reuse.

Conclusion

The Victorian Society maintains its objection to the proposed demolition of the hotel due to the lack of detail regarding the hotel's future reuse. We highlight that it is the responsibility of Cyngor Gwynedd to ensure that this building is preserved for future generations. We recognise that the level of proposed demolition has been reduced, and we cautiously welcome this, but we are keen to see that a future for the building is secured before any work takes place.

We feel it pertinent to add that the Corbett Arms Hotel has been nominated for consideration for the Victorian Society's Top Ten Endangered Buildings List 2026.

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If you could inform us of your decision in due course, I would be very grateful.

Comments dated 18/06/2025

Thank you for consulting the Victorian Society on this application. Having considered the proposal carefully, we object to these plans in their current form and raise serious concerns.

Built in the early C19th and redeveloped c.1900, The Corbett Arms Hotel is a Grade II-listed building, meaning it is recognised for its national significance and special interest. It represents an important part of Welsh and local history, especially the rise of tourism in Welsh coastal towns in the C19th. It was also visited by John and Yoko Lennon in 1969 with their children. This building is architecturally distinguished possessing a notable sense of authority and dignity. It is a building that blends into its surroundings and into Tywyn as a whole, contributing positively to its setting; The Corbett Arms is highlighted in Pevsner's 'Buildings of Wales', such is the impact and interest of this building. It is a positive contributor to its townscape, adding historic value and helping to craft the character of Tywyn.

This application seeks a 'phased' demolition of a listed building. While some demolition will clearly have to take place in order for the building to be made safe, the Society raise concerns with this phased approach, and the transparency of the proposed works.

The Need for Demolition

The Society questions the need for demolition on this scale. We echo the concerns of other National Amenity Societies in asking for an options appraisal to justify why the building cannot be preserved. The John Evans Report provided does not clarify the need for demolition, rather, it suggests that there has been no movement in the building, which would indicate that the building has stabilised. Demolition must be a last resort option for significant buildings, and this application fails to justify the need for such proposals.

The 'Phased' Demolition

The phased demolition approach would appear sensible in principle. However, upon further assessment, the phased approach begins to show some serious flaws. Firstly, some of the zones for demolition are quite large as they appear to follow the historic construction of the hotel. This would be a sensible approach if the building did not call for a more nuanced approach to the proposed works. The large zones mean that the sensitive nature of the building is lost and would be swamped in with any surrounding areas which were deemed to be in need of removal. Smaller zones would result in a more nuanced scheme, which would allow for clear and clean demolition of only the most necessary portions of the building. This approach appears to constitute a total, or near total, demolition of a listed building.

Secondly, the large zones also mean that redevelopment of the site that maximises the retention of historic fabric cannot be achieved. The vast amount of demolition would appear to be disproportionate to the level of collapse, which is localised. Every effort should be made to preserve as much of this nationally significant building as possible, in a sympathetic manner. Demolition of this scale should be a last resort, once all other avenues for reuse have been exhausted, including compulsory purchase by Cyngor Gwynedd. Demolition is,

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and always will be, a final option for a listed building and requires strong, clear and convincing justification.

Thirdly, Zone 5 represents most of the original Georgian fabric and it appears to be proposed for the entire removal of this area of original fabric. This is described as ‘the most unstable zone of the building’ yet is arguably the most important. This fabric lies outside of the Victorian Society’s remit, and we will defer to the Georgian Group to assess this particular aspect to its full extent.

The Demolition Plans

The only plans that we could find labelled as ‘Demolition’ were tucked away in Appendix K of the Structural Report. This is not an appropriate place to put demolition plans, as they become inherently inaccessible and obscured. These plans are also quite low resolution, making them hard to read. We request updated plans, in a clear definition for readability, to be uploaded directly to the Cyngor Gwynedd Planning Portal to ensure sufficient accessibility and transparency in the planning process.

In conclusion, The Victorian Society objects to these plans due to the large ‘zones’ which do not allow a nuanced approach, the harmful effect this scale of demolition would have on Tywyn and Welsh history and the inaccessibility of the plans on the public planning portal.

The Society strongly urges your Authority to refuse these specific plans for demolition and require amendments. I would be grateful if you could inform the Victorian Society of your decision in due course.

Historic Buildings & Places
(HB&P):

Comments dated 23/01/2026

Proposal: Listed building consent (LBC) for the phased partial deconstruction and demolition of the building, and required support works to stabilise remaining structure.

Statutory Remit: Historic Buildings & Places (HB&P) is the working name of the Ancient Monuments Society and a consultee on Listed Building Consent applications, as per the Listed building applications and decisions (duty to notify National Amenities Societies and the Royal Commission) (Wales) Direction 2022. We are concerned with historic assets of all types and all ages, including conservation areas and undesignated heritage.

Comments: Thank you for notifying HB&P of the amended plans submitted for the above application. I include our initial objection below.

HB&P generally welcome the amended plans and the different approach to the demolition that is now proposed, which appears to limit demolition to only those zones that have already suffered partial collapse, thus more of the building will now be retained. We also welcome the plans to secure and support the areas of the building that are open to the elements, though this doesn’t appear to be detailed in the documents.

We echo the comments already made by the other NAS and recommend additional details are submitted, including a methodology statement, details of the plans for the temporary support

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structure and weather proofing, and a plan for salvage and storage and reuse of removed material.

Comments dated 19/06/2025

Statutory Remit: Historic Buildings & Places (HB&P) is the working name of the Ancient Monuments Society and a consultee on Listed Building Consent applications, as per the Listed building applications and decisions (duty to notify National Amenities Societies and the Royal Commission) (Wales) Direction 2022. We are concerned with historic assets of all types and all ages, including conservation areas and undesignated heritage.

Comments: Thank you for notifying HB&P of the above application for partial demolition of zones one to five of the grade II listed Corbett Arms Hotel. HB&P raised strong concerns about the lack of evidence to support Gwynedd Council's initial proposal to use their emergency powers to demolish the hotel on safety grounds. Following the installation of scaffolding to make the site safe for the public, HB&P welcome the submission of this application for LBC and the opportunity to formally comment on the proposal. However, having read the documentation available, HB&P cannot support the proposal in its current form and must maintain an objection to its demolition.

The Historic Environment (Wales) Act 2023 advises that a planning authority must have special regard to the desirability of preserving a listed building, its setting, and any features of special architectural or historic interest the building possesses. The objectives of Planning Policy Wales 12 also seek to safeguard the historic environment and manage change so that any special architectural and historic interest is preserved.

Section 6.1.12 of Planning Policy Wales advises that the demolition of any listed building should be considered as exceptional and require the strongest justification. This is further supported by section 5.15 of TAN 24, which states that:

An application for the demolition of a listed building should be made in exceptional circumstances and only as an option of last resort. Consent for demolition should not be given simply because redevelopment is economically more attractive than the repair and re-use of a historic building. The following factors need to be considered:

- The condition of the building, the cost of repair and maintenance in relation to its importance and the value derived from its continued use. Where a building has been deliberately neglected, less weight will be given to these costs.
- The efforts made to keep the building in use or to secure a new use, including the offer of the unrestricted freehold of the building for sale at a fair market price that reflects its condition and situation.
- The merits of the alternative proposals for the site, including whether the replacement buildings would meet the objectives of good design and whether or not there are substantial benefits for the community that would outweigh the loss resulting from demolition.

Within this policy context, HB&P appreciate that attempts have been made in the past to secure the building, and several notices were issued under the Building Act 1984, which have been complicated

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by issues of ownership. But HB&P have not been convinced that demolition of so much of the building, which will include the almost complete loss of the original Georgian section, is necessary, and are concerned that the partial dismantling risks irreparable damage to the remaining parts of the building, potentially resulting in complete demolition.

HB&P were advised that following the installation of the scaffolding, the building was to be monitored to understand its structural stability and to allow for more investigations into the building's construction and the reasons for the collapse. Understanding the original construction and materials, and the relationship between the suggested timber frame and rubble stone walls is vital to developing a methodology for repairs or demolition. This monitoring and investigative report does not appear to have been submitted and thus the evidence base for demolition is limited and unjustified.

Further, HB&P have seen the independent review of the structural survey by Mann-Williams. That review also concluded that the evidence base for demolition is lacking, that the building's structure is not adequately understood, and that the application should investigate options to stabilise and repair the building, not just the demolition option.

It is particularly important to highlight that the impact of the removals (spine walls, etc) and vibration from demolition on the random uncoursed rubble walls is unknown. This could have a catastrophic impact on the remaining sections of the building and lead to wider collapse. This must be investigated and understood before proceeding.

The underlying factor to this case is that the application has not considered other options for the future of the heritage asset, only partial or full demolition. This means that it has not proven that we are at the point of 'last resort'.

The hotel has significant historic, social, cultural and architectural value, as well as group value with the adjoining buildings at the heart of Trwyn, all of which is well documented in the report. Demolition would result in a high level of harm to this significance and HB&P therefore recommend that the application is withdrawn until a full options appraisal and the appropriate building investigations can take place. Otherwise, the application should be refused.

The Georgian Group:

Comments dated 20/06/2025

Thank you for notifying the Georgian Group of the above application for works of demolition to a listed building. Whilst a case for localised works of demolition at the rear of the building may have been made, The Group is greatly concerned by the extent of the demolition works proposed within the present application. These we believe have not been robustly justified.

The Corbett Arms was built in the early nineteenth century (prior to 1833) and altered, refronted and considerably extended c1889-1900 to the designs of D Gillart. In the late twentieth century the hotel was expanded into adjoining houses, altered and extended. It ceased to operate c2009 and has since fallen into decay.

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Earlier this year two bays of the rear elevation of the original part of the building collapsed. The Group appreciates that your authority has made several attempts in the past to secure the future of the hotel which have been complicated by issues of ownership.

The building has clearly deteriorated since 2009 into poor state of repair and The Group appreciates that your authority has the duty to prevent any further collapse of the structure which would have the potential to put both the general public and adjoining properties at risk. Unfortunately, the supporting documents provided in an attempt to justify these proposals do not demonstrate that all other options for consolidating in situ the various parts of the hotel building have been fully considered or why these options have been found to be impracticable. We would respectfully advise therefore that the submitted documents have failed to demonstrate that the conditions set out for the total demolition of a listed building set out within section 5.15 of Tan 24 have been met. Demolition of a listed building should be justified in a most robust fashion and in the most thorough way.

It is considered that insufficient information has been provided within the application to fully justify the extent of the demolition works proposed. In addition, the supporting documents fail to provide precise information about which areas of the listed building's fabric would be destroyed and how its remaining elements would be safeguarded. What is clear from the submitted documents is that the almost complete demolition of the original early nineteenth century building is now being proposed leading to a considerable loss of the building's significance. There also remains the possibility that the proposed demolition works will cause a further collapse of fabric and thus lead to the total loss of the listed building. Any application should also be accompanied by a clear strategy for the safeguarding and repair of what remains. Para 5.13 of Technical Advice Note 24 on the Historic Environment (2017) directs that a Local Planning Authority is required to assess the impact of the proposals on the significance of the building. This cannot be done if the required information has not been provided.

The Georgian Group would strongly advise therefore that the present application is withdrawn until it is possible to fully explain the structural condition of the various parts of the building, the practical options available for addressing any critical defects identified and a rationale for the option chosen. If the dismantling of any section of the building does prove to be the only viable option, then a clear indication of the impact of its loss on the overall significance of the listed building should also be provided.

It is recognised that the building may be in a difficult to traverse and potentially dangerous condition in some areas however that does not give a justification for not supplying a clear and robust justification for the wholesale demolition of this important Georgian building.

Royal Commission on the
Ancient and Historical
Monuments of Wales:

Comments dated 08/01/2026

Thank you for consulting us on the revised plans for the Corbett Arms Hotel, Tywyn, application number C25/0403/09/CR. The remit of the Royal Commission permits us to comment only on the historical

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significance and context of a monument or structure and on the adequacy or otherwise of the record.

The history and development of the Corbett Arms (originally Corbet) dates to the early nineteenth, if not the late eighteenth, century. It was certainly established before 1827, which is the year the first known documentation about the building appears, noting the dissolution of bankrupt estate held there. The Cadw listing description also states that ‘it is mentioned as the town’s principal hotel in 1833’, although no reference is provided for this.

The building is shown on the 1841 Tithe map where it is noted as part of the Corbet estate and occupied by William Parry, who together with his wife continued as the landlords of the Corbet Arms until 1875, during which time the hotel built up an impressive business portfolio. In 1856, it was noted in the press that ‘great improvements’ were being made to the Corbet Arms Hotel, located as it was in the ‘Fairy Land of Merioneth’.

A c.1885 photograph of the by then named ‘Corbett’ Arms Hotel, held at the National Library of Wales, shows its form. A six bay frontage, rendered with prominent quoin stones to the façade corners, and to the ground floor an open porch with decorative cast iron columns to the second bay from the right, otherwise five six-over-six sash windows. Six identical windows to the first floor, and six half height, with three-over-three sash windows to the attic. Decorative cast-iron railings are to the front. The side elevation comprises a gable end with a single six-over-six sash to the first floor, and a three-bay rear wing with a single door and two six-over-six sashes to the ground floor, and three six-over-six sashes to each of the first and second floors. To the left of the façade, can be seen a small part of a lower, rubblestone outbuilding.

Refurbishment and a major extension of the hotel was later carried out in 1889/1900, funded by English Industrialist John Corbett who had bought the Ynysmaengwyn Estate in 1878 (no relation to the previous Corbets). The hotel was extended to 10 bays, nearly doubling its size, with eight dormers inserted to the slated roof. The work was carried out by R. Morgan and Sons to the designs of architect D. Gillart (who also worked on the general town scheme). After reopening, it was renamed The Corbett Arms and Raven Hotel in advertising. By 1945, under the ownership of Mr and Mrs J. W. J. Clarke, the Corbett Arms Hotel had 50 bedrooms, all with hot and cold running water, and offered garages, fishing and golf. Famous guests to the hotel include John Lennonn and Yoko Ono in the 1960s. By 2020 the hotel was closed and in a state of disrepair.

The Royal Commission on the Ancient and Historical Monuments of Wales carried out a partial recording of the building in April 2025, following the collapse of a rear section of the building. However, the recording was done prior to the removal of dense vegetation, which then obscured large parts of the building’s exterior features. No interior recording was possible at the time. Further detailed recording with all vegetation removed would be required to ensure a satisfactory building record is carried out, and as such we would recommend as a condition of consent an additional Level 3 historic building record be made of the Corbett Arms Hotel. Subject to structural integrity with the building made secure and safe, a photographic record of the interior should be included in this record.

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Details of a Level 3 historic building record can be found in Historic England's 2016 document, Understanding Historic Buildings: A Guide to Good Recording Practice (pp.25-28). We would request a copy of the resulting survey be deposited with the National Monument Record of Wales in Aberystwyth. Photographs are to be exported individually (not embedded in a PDF document) as TIFF files at 300dpi.

The Twentieth Century Society Not received

The Society for the Protection of Ancient Buildings: Not received

Senior Conservation Officer: No consultation - The Senior Conservation Officer dealt with this application, and therefore the Officer's professional opinion has been included in the report and is therefore not reported separately

Public Consultation:

Several notices were posted on and around the site and nearby residents were notified, the application was also notified within the press. The advertisement period has expired on both original and amended consultation and objections were received on the following grounds:

- Important historical site with connection to the church.
- Poor heritage impact assessment
- Local Planning Authority allowed building to fall into disrepair
- Mis-understanding of phasing and the nature of the building
- The loss of two sections are not reason for partial or whole demolition
- The loss of zone 5 would mean the loss of the most important and historic fabric
- Concerns that a demolition contractor has been appointed without the relevant qualifications for a historic building
- No attempt to understand what has caused the collapse
- Water penetration being a cause for collapse, therefore possible to stabilize the main structure
- Blocked gutters creating water damage – should be cleaned
- little evidence of cracking - no consideration of cintec anchors
- application is for total demolition rather than partial
- no mention of salvaging materials
- application fails to preserve or enhance buildings character
- give heritage bodies the chance to restore building
- John Lennon and Yoko Ono connection
- Council do not own the building or the land
- Deliberate neglect is not justification for demolition
- No evidence presented to justify demolition to the extent proposed
- No repair and restoration options considered
- No appropriately qualified conservation accredited consultant or contractors engaged by Council
- Adjoining porch and garden demolished without consent
 - no evidence provided that the demolition of the zones other than 1-5 is necessary
 - reference to the already demolished front porch and associated garden
 - failure to engage or allow independent review of the building and associated application
 - no monitoring data to support the extent of demolition proposed
 - failure to take readings from monitoring gauges on wall of Terry's bar noting access issues as the reason
 - failure to demonstrate phasing plan for the works

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- failure to engage advice or support from experienced building repair contractors, engaging only a demolition contractor
- failure to engage any conversation accredited professionals
- failure to follow accepted professional guidance
- failure to install any mitigation works to demonstrate intent to minimise the extent of demolition
- failure to identify any planned retention of dismantled fabric to aid repairs and renovation
- failure to use any available listed building protection measures
- failure to present other options to demonstrate that the application is the last resort

As well as the above objections, letters of support were also received which included:

- Remove this blight – it effects those who live here
- Demolition of entire site required, building and areas is an eyesore
- Dangerous
- Surrounding businesses and homes suffering
- Beyond repair and liability to public and tax payers
- Building has stood empty for years with plenty of time for it to be saved – but nothing was done

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5. Assessment of the material planning considerations:

- 5.1 The impact of the development on the setting and character of the Listed Building.
Paragraph 5.14 of Technical Advice Note (TAN) 24: The Historic Environment, states that Local Planning Authorities should consider the following matters:
- The importance and grade of the building and its intrinsic architectural or historic interest
 - The physical features of the building which justify its listing and contribute to its significance, including any features of importance such as the interior, which may have come to light after the building's inclusion on the list
 - The contribution of curtilage and setting to the significance of the building, as well as its contribution to its local scene
 - The impact of the proposed works on the significance of the building
 - The extent to which the proposed works would bring substantial community benefits for example, by contributing to the area's economy or the enhancement of its local environment.
- 5.2 Paragraph 6.1.13 of Planning Policy Wales also states that:
Applicants for listed building consent must be able to justify their proposals, show why the alteration or demolition of a listed building is desirable or necessary and consider the impact of any change upon its significance. This must be included in a heritage impact statement, which will be proportionate both to the significance of the building and to the degree of change proposed.
As has already been stated previously, the application has been amended since the original submission and now involves a reduction in the amount of demolition works proposed in comparison to the original proposal.
- 5.3 The footprint of the whole building has been divided into zones for ease of reference, with the later addition of the conservatory being zone 1, the ball room is Zone 2, Terry's bar (which is physically attached to no 22 Maengwyn St) is zone 3, the glazed infill directly being the ballroom is zone 4 The remainder of the main part of the hotel which fronts both Corbett Sq and Maengwyn St is zone 5, the middle part of the main building – zone 6, the right hand side of the building and the boiler house zones 7 and 8.
- 5.4 The initial structural engineers report concluded that a partial demolition was the favoured option either in whole or in part. The partial demolition was the favoured option with zones 1-5 requiring demolition /removal on health and safety grounds. Zones 6, 7 and 8 would be reviewed as work progresses with the intent to salvage as much as possible.
- 5.5 A significant number of correspondences was received during the application's initial consultation period, primarily from the statutory amenity bodies, residents and third parties
- 5.6 Following assessment of the original proposal and the consultation responses, further information was requested by the agent / applicant over the amount of demolition proposed with a full justification. Further information was received on 31/12/2025 which reduced the amount of demolition proposed along with amended plans to substantiate this.
- 5.7 The proposal now involves the demolition of Zones 1, 2, 4 and parts of zone 5. Zone 5 has now been further sub-divided into 5A, B and C, with only 5A being proposed for demolition.
- 5.8 Another period of re-consultation therefore took place for comments on the amended plans.
- 5.9 It should also be pointed out that during the course of the application's submission, that works has been undertaken to clear the gutters on the building as has been noted within several correspondences during the consultation period. Water ingress and wall saturation has been mentioned several times as a probable cause for potential wall collapses and gutter clearance could be a simple step to alleviate any issues. This task was undertaken in November 2025 by the applicant. The Royal Commission on the Ancient and Historical Monuments of Wales were also notified upon the collapses and subsequently visited the site in April 2025 to undertake some

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emergency recording work – further recording work would also be required should the application be approved. Another matter that had been raised was the lack of monitoring data. Monitoring of the building has been undertaken with additional information supplied by the Agents noting that the building has suffered no significant movement. This was a consideration which led directly to the reduction in the scale of the demolition proposed which is now limited to the current zones 1, 2, 4 and 5A only.

- 5.10 The information submitted with the application provides detail of the condition of the zones now proposed to be demolished. Zone 1 is a modern conservatory. Zones 2 and 4 are partially collapsed and Zone 5A is attached to Zone 4 which is partially collapsed. The conservatory (Zone 1) has no architectural merit of significance and Zones 2 and 4 would appear beyond repair with Zone 5A requiring removal as it is attached to Zone 4. Furthermore, access is required to strengthen and retain the remaining Zones.
- 5.11 As part of the strengthening works the use of cintec anchors has been suggested as an intervention that would assist with the main gable wall of Terry’s bar (Zone 3 – which is no longer part of the application), although it would also appear that the cracking within this area could be historical, although it would be useful to continue the monitoring of the structure. Further details from the agent noted that the use of cintec anchors could be used or similar techniques. It is considered therefore that a condition should be attached with any consent to agree this method prior to its use on the building.
- 5.12 Based on this therefore a detailed methodology on how these zones are to be taken down would be required, and a phasing plan. Amended details note that the modern conservatory, zone 1 would be removed first to gain access to the rear of the building, and further deconstruction works have been noted to include details such as filling floor voids in order to provide working platforms to the other zones. It is considered necessary that there is a condition to agree this methodology in order to avoid any risk of damage and to also assess the significance of the materials being removed, how they would be removed and whether they are salvaged for future reinstatement. Information submitted has also stated that the demolition works will be undertaken using a high reach machine primarily due to health and safety factors, as it has been concluded that a crane, man-rider basket or a mobile elevating work platform (MEWP) would not be safe. This should also be agreed upon by condition in advance of works commencing.
- 5.13 Details on how the building will be “made good” following any demolition works was requested from the agent. Details were submitted which stated:
- the erection of a scaffolding buttress within the footprint of Zone 5A following the deconstruction would be advisable, this buttress would then stabilise the spine wall and side walls until a new structure is provided.
 - weatherproofing should also be provided where floors and roofs have been removed to protect finishes and mitigate against water penetration. This could be a temporary roof and wall of metal cladding which would require the least maintenance and therefore mitigate against ongoing maintenance at height.

A condition to agree the full extent of the above should be attached to any consent.

- 5.14 The Amenity Bodies as part of their consultation responses raised concerns over the future of the building and the Victorian Society “maintains its objection to the proposed demolition of the hotel due to the lack of detail regarding the hotel’s future reuse”. However, the future use of the building does not form part of this application, only the proposal for the partial rear demolition. Furthermore, the applicant (the Council) does not own the building and the details regarding safeguarding the building and its future will need consideration in the context of the requirements of the current application and implementation of any consent given.

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- 5.15 It has also been noted within the application that the porch to the front of the building was demolished during the course of the scaffolding works as well as the associated garden which was removed to gain access to the rear. It is understood that this constituted urgent works required in order to implement the works required to protect the public. No details are contained within the application as to the future of this porch and whether it is planned for reinstatement. As the porch was removed prior to the application being submitted and does not form part of the consent, it was therefore removed without the necessary consent in place. It is therefore considered reasonable to include a condition with a plan for this porch's reinstatement.
- 5.16 It is also considered that with applications like this that it is reasonable to attach a condition for a suitably qualified conservation professional to be employed during the course of the works to oversee and also to agree the method of demolition of the parts as noted within the amendments.
- 5.17 In determining this application, special regard must be had to the desirability of preserving the listed building, any features of special architectural or historic interest and the building's setting, in accordance s96(2) of HEW Act 2023. Preserving a building or other historic asset does not mean that it has to be maintained unchanged, but that its significance is sustained for the future. This statutory duty has been given considerable importance and weight in reaching the recommendation.
- 5.18 The Corbett Arms Hotel is a Grade II listed building of considerable architectural, historic and townscape significance. It reflects its late-Georgian origins together with later Victorian and Edwardian expansion, and makes a prominent contribution to the historic development and character of Tywyn as a seaside resort. Its principal significance derives from its main elevations, overall form and plan, and the survival of historic fabric illustrating its phased development. It also contributes positively to the setting of the surrounding area and other listed buildings in Corbet Square, Red Lion Street and Maengwyn St and as noted in the listed building description for its overall interest as a prominent building of definite and striking architectural character and contribution to the historical integrity of the old town centre. While all parts of the building contribute to its significance, the highest value is attributed to the principal elevations and core structural elements, with later additions and rear elements generally of lesser significance, particularly where they have been altered or have suffered structural failure.
- 5.19 The amended proposal seeks listed building consent for the demolition of Zones 1, 2, 4 and part of Zone 5 (identified as 5A), together with associated works to stabilise and weatherproof the remaining structure. The current scheme represents a significant reduction in the extent of demolition originally proposed, following consultation responses and the submission of further structural information.
- 5.20 The proposed works would result in the loss of historic fabric within the identified zones and therefore give rise to harm to the significance of the listed building. However, it is material that Zones 2 and 4 have already partially collapsed, Zone 1 comprises a modern conservatory of negligible heritage value, and Zone 5A is structurally compromised and directly associated with the collapsed areas. The proposal retains the principal elevations and the majority of the historic fabric which defines the building's character and significance. In this context, the harm arising from the proposals is assessed as less than substantial.
- 5.21 National policy, including Planning Policy Wales and Technical Advice Note 24, requires that demolition of a listed building should be exceptional, supported by clear and convincing justification, and undertaken only as a last resort. The application is supported by structural survey information, evidence of recent collapses in January and February 2025, and ongoing concerns regarding structural instability and risks to public safety, particularly given the building's location adjacent to a highway. Monitoring data and subsequent reassessment have informed a revised approach which significantly reduces the extent of demolition and focuses only on those areas that are already collapsed or demonstrably unstable.

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- 5.22 The Authority has carefully considered whether the building could be stabilised and repaired without demolition, or whether a lesser degree of intervention would be sufficient. While consultees have raised concerns regarding the adequacy of the evidence base and the exploration of alternatives, the revised proposal reflects a more proportionate response, targeting only those elements where retention is not reasonably achievable without unacceptable risk. On this basis, it is concluded that the proposed works represent the minimum necessary intervention to secure the building and that the “last resort” test has been satisfied.
- 5.23 The proposed works would deliver clear public benefits. These include the removal of immediate risks to public safety, the stabilisation and safeguarding of the retained structure, and the prevention of further uncontrolled collapse which could otherwise result in the loss of a substantially greater proportion of the building. The works would also facilitate improved site conditions and reduce the ongoing impact on the surrounding area and local community. These benefits are considered to be substantial, particularly in the context of a listed building that is currently at risk.
- 5.24 The identified less than substantial harm must be weighed against the public benefits of the proposal. In this case, it is considered that the benefits of stabilising the building, addressing immediate safety concerns and securing the long-term retention of the principal historic fabric outweigh the harm arising from the loss of the affected areas. It is also a material consideration that, in the absence of intervention, further deterioration and collapse would likely occur, leading to significantly greater harm, potentially including total loss of the building.
- 5.25 To ensure that the works are carried out in a manner that minimises harm and safeguards the remaining fabric, it is necessary to impose conditions requiring a detailed methodology and phasing plan, measures for structural support and weatherproofing, the salvage and reuse of historic materials, and oversight by a suitably qualified conservation professional. Details of any structural interventions, including the use of anchors, must also be agreed in advance. In addition, a Level 3 historic building record will be required to ensure that an appropriate record of the building is secured.
- 5.26 It is acknowledged that the removal of the front porch occurred without listed building consent. This unauthorised work has been taken into account in the assessment, and it is considered necessary to impose a condition requiring details for the reinstatement of the porch and associated features in order to address this harm.
- 5.27 Overall, having given considerable importance and weight to the statutory duty to preserve the listed building, and having carefully considered the significance of the asset, the extent of harm, the justification for the works, and the public benefits arising, it is concluded that the proposed development represents a justified and proportionate intervention. The proposal is therefore considered to comply with national and local planning policy and is acceptable subject to conditions.

6. Conclusions:

- 6.1 Taking into account the above information and the requested additional evidence and justification in light of third party comments, it is concluded that the proposal for the demolition of zones 1, 2, 4 and 5A are adequately justified, but to have strict conditions attached to agree detailed methodologies on how the works will be undertaken and to do this whilst being over-seen by a conservation professional. The amount of demolition should be kept to a minimum necessary, and as this works is to the rear only allowing the main front elevation to remain as it is, it is considered the impact upon the buildings character will be retained to the rear only and should not have a detrimental impact upon the buildings character or significance. The building will need to be made good to secure it from the elements and will need to be assessed again following implementation of any consent to take account any future considerations. To this end, therefore, bearing in mind that doing nothing at this point would inevitably create irrevocable damage to the building which

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would in time mean more of the building would collapse. it is recommended that the application be approved subject to the conditions as noted below.

7. Recommendation:

7.1 To approve subject to conditions

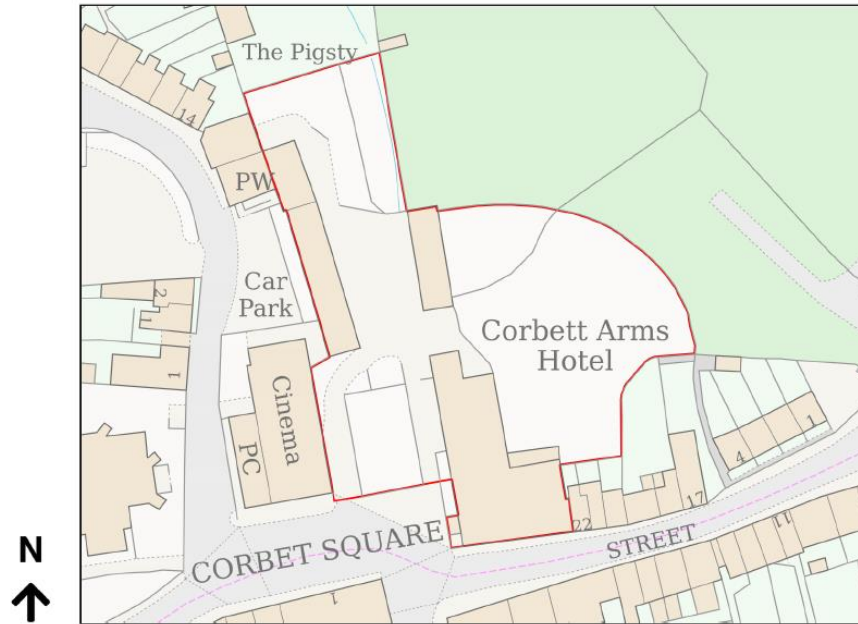
1. 5 years
2. As per plans
3. A detailed methodology and phasing plan of the demolition works, to include details for securing and protecting the building shall be submitted and agreed in advance of works commencing. Details should also include a plan to reinstate the porch and walled garden along with details of salvaging materials.
4. A suitably qualified conservation professional should be employed to oversee and agree the methodology and the demolition works as they commence, and to be agreed with the LPA before works commence
5. Details of the anchor bolts or pinning anchors should be agreed in writing by the LPA before they are installed
6. A Level 3 historic building record be made of the Corbett Arms Hotel. Subject to structural integrity with the building made secure and safe, a photographic record of the interior should be included in this record.

Location Plan

Site Address: Easting: 258900 Northing: 300961

Date Produced: 29-May-2025

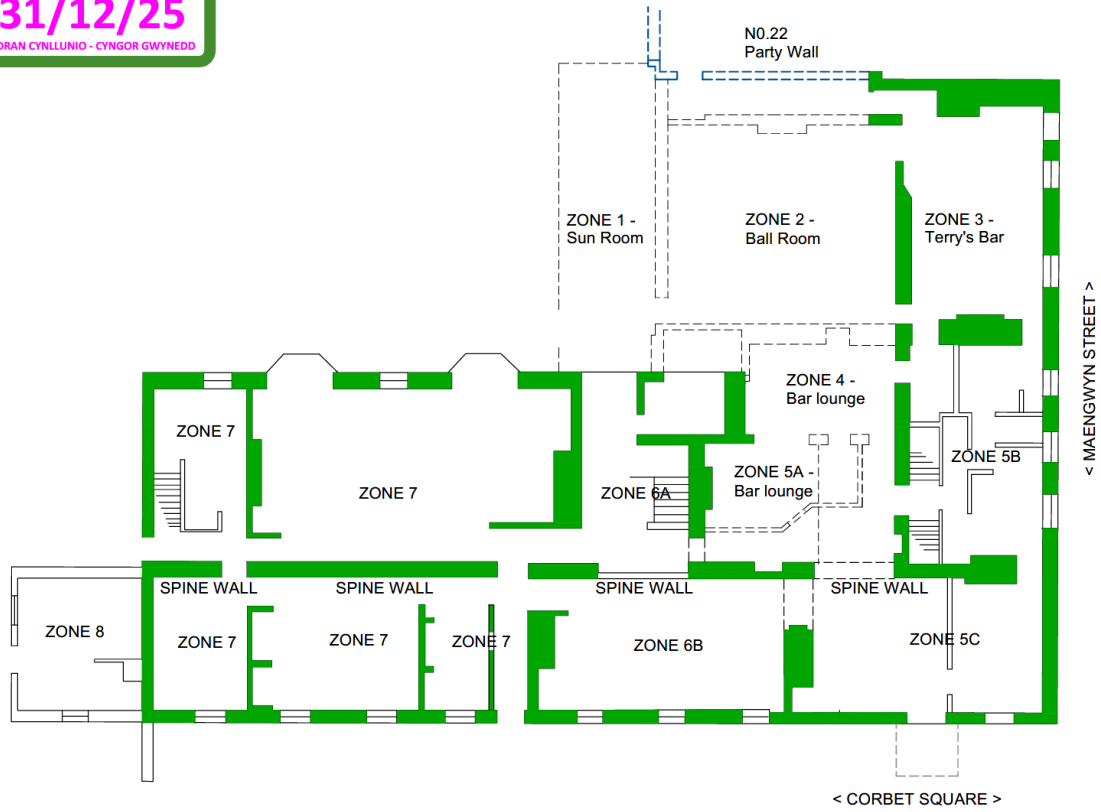
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**GWYBODAETH YCHWANEGOL
ADDITIONAL INFORMATION**

31/12/25

ADRAN CYNLLUNIO - CYNGOR GWYNEDD



B	issued for consultation, LBC	22.12.2025	JE
A	issued for consultation, LBC	23.11.2025	JE
Rev	Purpose of issue	Date	Authorised

John Evans Associates Limited

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Quinton Hazell Enterprise Parc
Glan y Wern Road
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LL28 5BS
Tel: 07787557873
www.jeaeng.co.uk

Client

Gwynedd Council

Project

**Corbett Arms, Corbet Square, Tywyn,
LL36 9DG**

Title

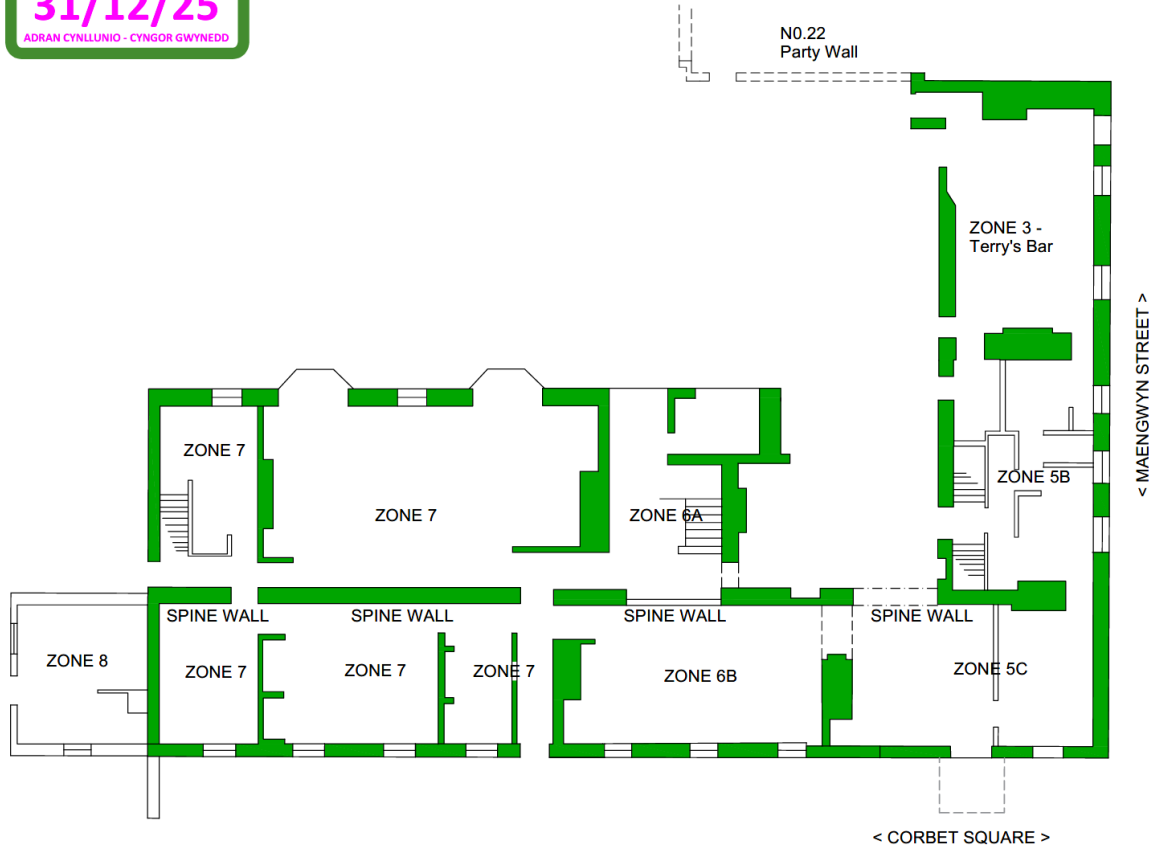
**GROUND FLOOR LAYOUT - PROPOSED
DECONSTRUCTION OF ZONES 1, 2, 4
AND 5A**

Original Scale	Drawn	Checked			
NTS	JE	JE			
	Date Jun 25	Date Jun 25			
Drawing Number	CA-0142-JEA-XX-ZZ-DR-Y-1100			A3	Rev B

DO NOT SCALE

**GWYBODAETH YCHWANEGOL
ADDITIONAL INFORMATION**

31/12/25
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Client
Gwynedd Council

Project
Corbett Arms, Corbet Square, Tywyn, LL36 9DG

Title
GROUND FLOOR LAYOUT - RESIDUAL BUILDING AFTER DECONSTRUCTION OF ZONES 1, 2, 4 AND 5A

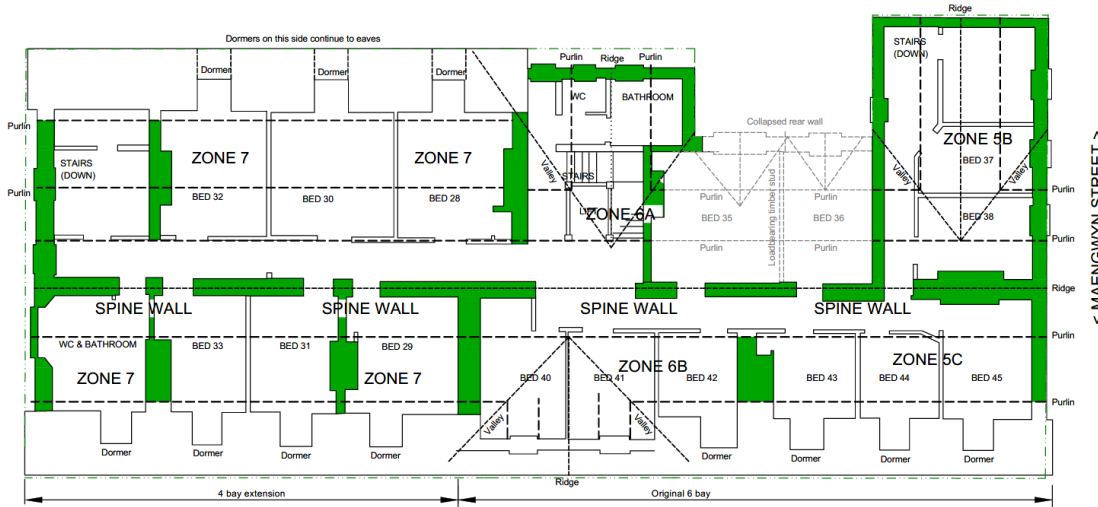
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Drawing Number CA-0142-JEA-XX-ZZ-DR-Y-1101			A3

DO NOT SCALE

31/12/25

ADRAN CYNLLUNIO - CYNGOR GWYNEDD

GWYBODAETH YCHWANEGOL
ADDITIONAL INFORMATION



B	Issued for consultation, LBC	22.12.2025	JE
A	Issued for consultation, LBC	5.12.2025	JE
Rev.	Purpose of issue	Date	Authorised

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Client
Gwynedd Council

Project
Corbett Arms, Corbet Square, Tywyn, LL36 9DG

Title
THIRD FLOOR LAYOUT - ROOF DECONSTRUCTION REQUIRED, ZONE 5A

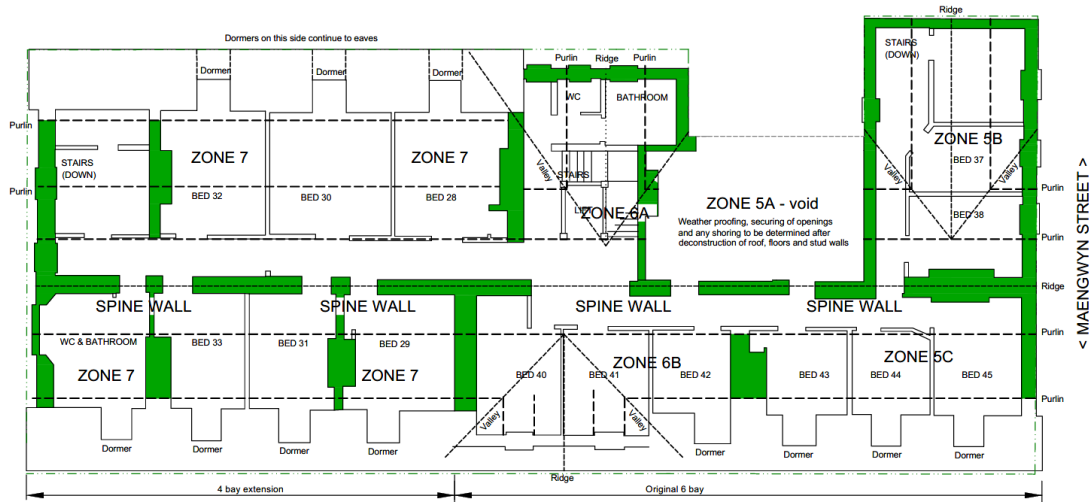
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	Date Nov 25	Date Nov 25	
Drawing Number CA-0142-JEA-XX-ZZ-DR-Y-1102			A3

DO NOT SCALE

31/12/25

ADRAN CYNLLUNIO - CYNGOR GWYNEDD

**GWYBODAETH YCHWANEGOL
ADDITIONAL INFORMATION**



B	Issued for consultation, LBC	22.12.2025	JE
A	Issued for consultation, LBC	5.12.2025	JE
Rev.	Purpose of issue	Date	Authorised

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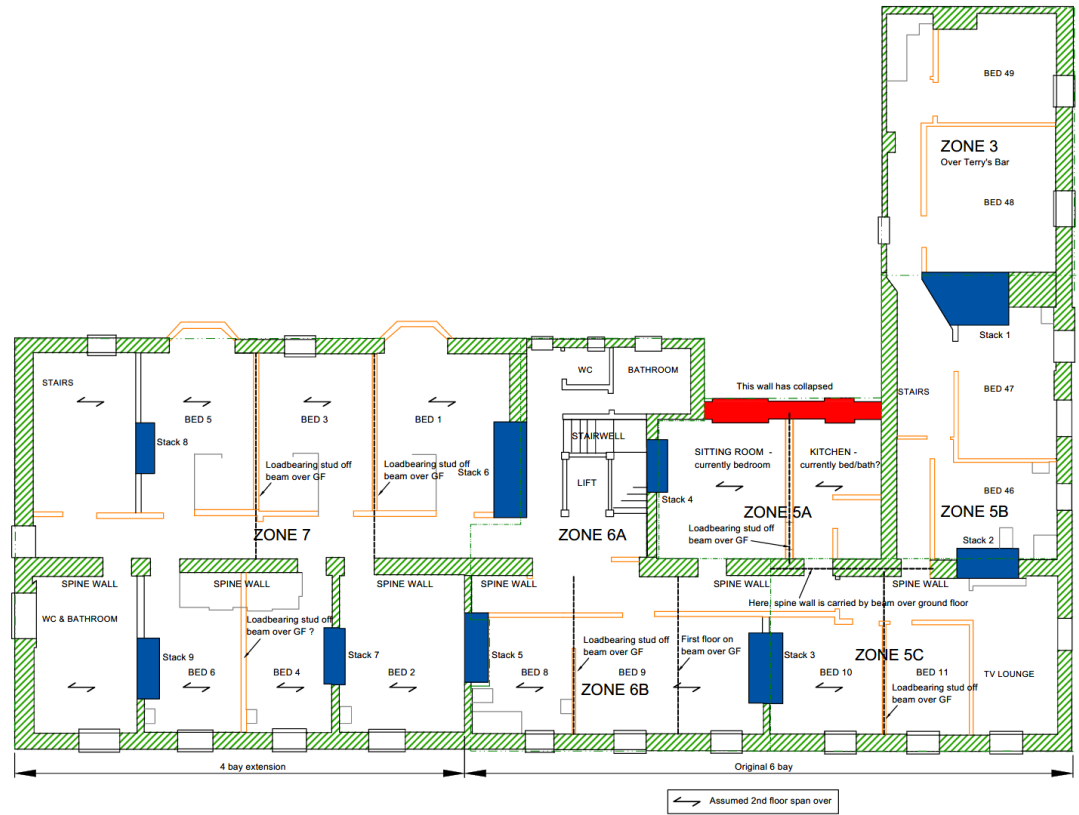
Title
THIRD FLOOR LAYOUT - RESIDUAL BUILDING AFTER DECONSTRUCTION OF ZONES 1, 2, 4 AND 5A

Original Scale	Drawn	Checked
NTS	JE	JE
	Date	Date
	Nov 25	Nov 25
Drawing Number	Rev	
CA-0142-JEA-XX-ZZ-DR-Y-1103	A3 B	

DO NOT SCALE

31/12/25
ADRAIN CYNLLUNIO - CYNGOR GWYNEDD

**GWYBODAETH YCHWANEGOL
ADDITIONAL INFORMATION**



Rev	A	Issued for consultation, LBC	22.12.2025	JE
		Purpose of issue	Date	Authorised

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Client

Gwynedd Council

Project

**Corbett Arms, Corbet Square, Tywyn,
LL36 9DG**

Title

**1ST FLOOR LAYOUT - CHIMNEY STACKS
& SPINE SUPPORT AROUND ZONE 5A**

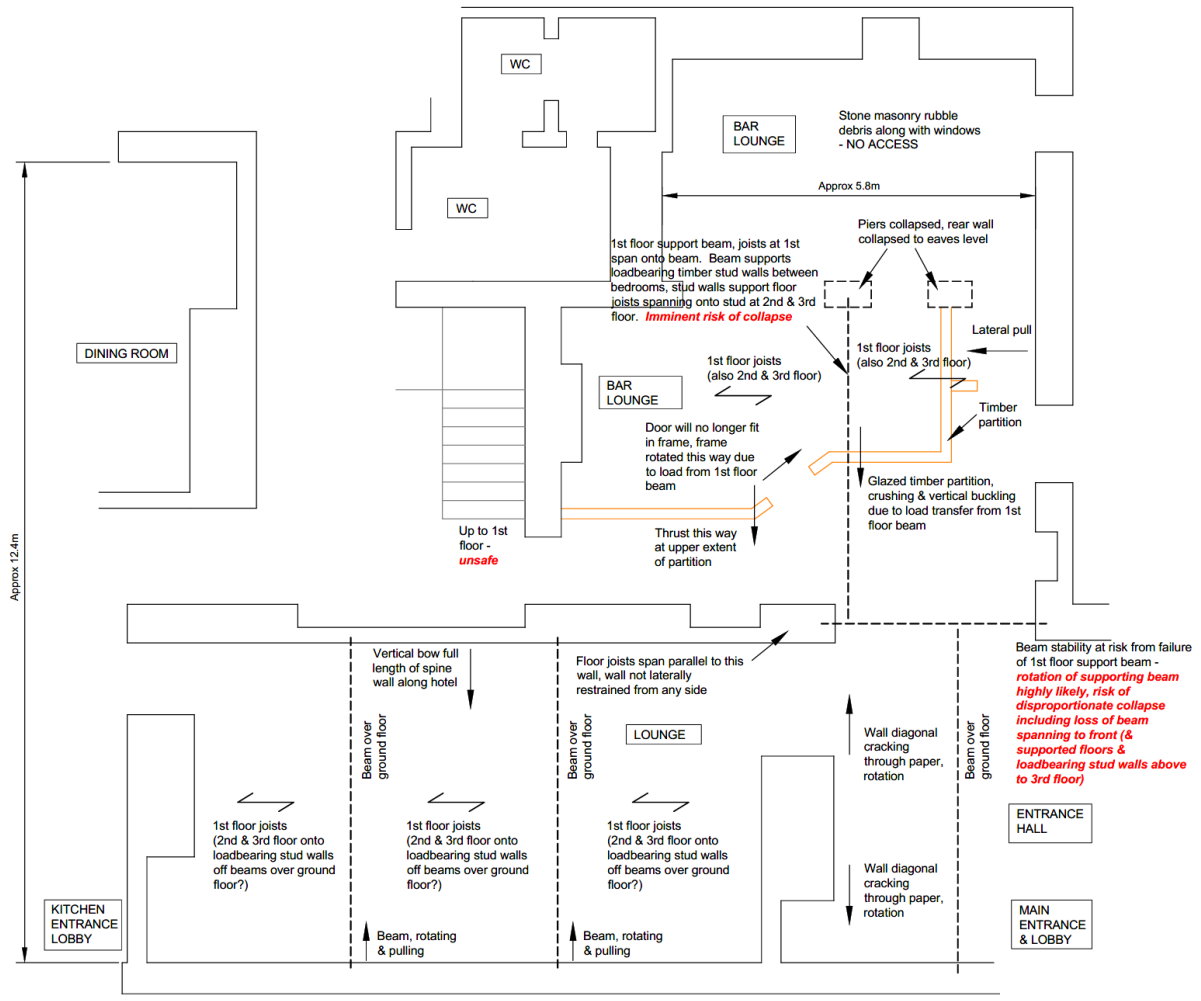
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NTS	JE	JE	
	Date	Date	
	Nov 25	Nov 25	
Drawing Number	Rev		
CA-0142-JEA-XX-ZZ-DR-Y-1104	A3		A

DO NOT SCALE

31/12/25
ADRAN CYNLLUNIO - CYNGOR GWYNEDD

**GWYBODAETH YCHWANEGOL
ADDITIONAL INFORMATION**

Ball Bar beyond this wall - **Collapse of entire roof structure imminent to Ball Bar. Suspended timber floor structure over cellar/void 70-80% collapsed**



A	Issued for consultation, LBC	22.12.2025	JE
Rev.	Purpose of issue	Date	Authorised
<p>John Evans Associates Limited</p> <p>Office 1C Quinton Hazell Enterprise Parc Glan y Wern Road Colwyn Bay Conwy LL28 5BS Tel: 07787557873 www.jeaeng.co.uk</p>			
Client			
<p>Gwynedd Council</p>			
Project			
<p>Corbett Arms, Corbet Square, Tywyn, LL36 9DG</p>			
Title			
<p>GROUND FLOOR LAYOUT - WALL & FLOOR SUPPORTS LOCAL TO ZONE 5A</p>			
Original Scale	Drawn	Checked	
NTS	JE	JE	
	Date Nov 25	Date Nov 25	
Drawing Number			Rev
CA-0142-JEA-XX-ZZ-DR-Y-1105			A3 A

DO NOT SCALE







PLANNING COMMITTEE	DATE: 27/04/2026
REPORT OF ASSISTANT HEAD OF DEPARTMENT	

Number: 2

Application Number: C25/0705/11/LL

Date Registered: 06/10/2025

Application Type: Listed Building

Community: Bangor

Ward: Glyder

Proposal: Demolition of rear extensions and erection of a new two-storey extension along with landscaping works, erect a bicycle and bin storage building, and rearrange car park layout

Location: Coleg Menai, Friars Building, Coleg Menai Ffriddoedd Road, Bangor, Gwynedd, LL57 2TS

Summary of the Recommendation: TO APPROVE WITH CONDITIONS

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1. Description:

- 1.1 Full planning application for the demolition of rear extensions and erection of a new two-storey extension, along with landscaping, bicycle storage spaces and changing the parking layout.
- 1.2 The main building, which is visible from the road, is a very impressive two-storey building made of stone with stone windows and built around 1899. This building replaced a former school on other sites within the City, and the original site was on the site of a monastery, which is the background to the school's name, "Friars" as it is known today. Evidence exists which shows that the school has evolved and developed over time, and by the 1940s this was the building that exists now. Two other separate buildings form part of the site, but these do not form part of this application.
- 1.3 The site was still in use as a school until 1999 when the school was relocated to a new site, and Coleg Menai moved to the site until March 2025 after which the site stood vacant. The University has purchased the site in order to relocate the Business School, and the land to the north and east of the site is already part of the University campus.
- 1.4 The proposal involves demolishing the two-storey rear section, the 1930s section and erecting a new modern two-storey extension to enable teaching rooms to be brought up to modern standards. The plan is to locate the extension on the same footprint as the section to be demolished but rather than in a cross shape it would be squarer in shape and would measure approximately 28m by 26m with a height of 12.5m.
- 1.5 The extension would be a mix of light grey/red brick and red aluminium cladding. The front elevation, which is the southern elevation facing Ffriddoedd Road, will remain as it is, as this is the original part and no change is proposed here. On the western side of the main building, it is proposed to remove the existing car port and also remove mechanical ventilation equipment from the roof and install new vents. The new extension would connect to the main building and would be of a modern design with two pitched roofs mirroring the ridge of the main building. The lower section would be made of red brick and the upper level covered with red zinc cladding. Glass panes up to the higher level will connect the extension to the main building, with long glass panes at the centre and end of the extension.
- 1.6 A large section of the main building will still be visible on the rear (northern) elevation, along with the new modern section. This section of the extension would measure approximately 26m with a height of 12.5m, and again the materials would be a combination of red brick and red aluminium cladding. Sections of the roof would be flat (to accommodate the ventilation mechanism and equipment) and other sections would have a pitched roof. It is proposed to have glass panes along half of the rear elevation on the lower level, with 5 on the first floor and 3 windows within the roof. Rainwater goods have been incorporated within the design to be covered, but with several rainwater pipes running down the back.
- 1.7 On the eastern side (facing Neuadd Reichel) the extension would again reflect the main building with pitched roof sections but it is also proposed to install fins which will mirror the pitched roof but will again cover the mechanical equipment. Solar panels are planned to be installed on the new extension in concealed places.
- 1.8 Within the new extension there would be two large lecture halls, a general teaching room, toilets and seating areas along with the corridors, stairs and external doors. It is also proposed to install a new lift here. The second floor of the extension would contain the space for the two lecture halls

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along with seating areas, toilets, plant rooms and stores. This would then connect back to the main building.

- 1.9 Internal restoration works within the main building also form part of the application, these do not require formal planning permission, but they have been assessed within the associated listed building application.
- 1.10 The proposal involves an element of re-using some materials from the extension to be demolished, such as the iron handrail which will be relocated within the curtilage as a feature.
- 1.11 Landscaping work, rearranging the parking provision and creating bicycle storage spaces also form part of this application. As already noted, the site is a former school and college with a long-established parking provision for 64 cars. The main entrance to the site from Ffriddoedd Road remains unchanged, with the road within the site remaining one-way. It is proposed to rearrange the parking provision to create 62 parking spaces, with 4 disabled spaces. A public transport shelter is located approximately 400m in front of the site.
- 1.12 It is proposed to demolish the existing bins and recycling storage building on the north-east side of the site and relocate it to the west side near the playing field. The new building would measure 4.2m by 4.9m with a height of 2.4m, with red brick to match the new extension and double iron doors. It is also planned to install 8 bike shelters in the same location which will allow for the storage of 10 bikes per shelter, along with one locked secure bike storage unit that can store 6 bikes.
- 1.13 In terms of landscaping, it is also proposed to facilitate the link between this site and the University site next door by creating a new path to connect the two sites. It is planned to create a new opening within the hedge on the eastern side of the site and create a new tarmac path. In terms of landscaping, it is planned to create an area of wildflowers near the bike shelters and install flower planters around the site. It is also proposed to install bird and bat boxes around the site, on the trees at the front of the site and on the building.
- 1.14 The site lies within the development boundary of the City of Bangor but outside the central area. There are University sites near this site and adjacent residential dwellings. The building is a grade II listed building.
- 1.15 Wildlife surveys, a design and access statement, a transport statement, drainage issues, a Welsh Language statement, green infrastructure statement and an archaeological survey were submitted. The application was submitted to the Committee due to the size of the site which is more than 0.5ha.

2. Relevant Policies:

- 2.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 and paragraph 2.1.2 of Planning Policy Wales emphasise that planning decisions should be in accordance with the Development Plan, unless material considerations indicate otherwise. Planning considerations include National Planning Policy and the Local Development Plan.
- 2.2 The Well-being of Future Generations (Wales) Act 2015 places a duty on the Council to take reasonable steps in exercising its functions to meet the 7 well-being goals within the Act. This report has been prepared in consideration of the Council's duty and the 'sustainable development principle', as set out in the 2015 Act. In reaching the recommendation, the Council has sought to

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ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs.

2.3 **Anglesey and Gwynedd Joint Local Development Plan 2011-26, adopted 31 July 2017**

PS 1: The Welsh Language and Culture

ISA 1: Infrastructure Provision

ISA 3: Further and Higher Education Developments

PS 4: Sustainable transport, development and accessibility

TRA 2: Parking standards

TRA 4: Managing transport impacts

PS 5: Sustainable Development

PS 6: Alleviating and adapting to the effects of climate change

PCYFF 1: Development Boundaries

PCYFF 2: Development Criteria

PCYFF 3: Design and Place Shaping

PCYFF4: Design and Landscaping

PS 20: Protecting and where appropriate enhancing heritage assets

PS19: Conserve and where appropriate enhance the natural environment

2.4 **National Policies:**

Future Wales: The National Plan 2040

Planning Policy Wales (Edition 12 – February 2024)

Technical Advice Note (TAN) 24: The Historic Environment.

Technical Advice Note (TAN) 12: Design

Managing Changes to Listed Buildings in Wales

3. **Relevant Planning History:**

3.1 C98A/0007/11/CR use of the building for educational purposes, two extensions, fire stairs, additional car park and demolition of some internal walls – Permitted 20/02/1998

C98A/0017/11/LL use of the building for educational purposes, two extensions, fire stairs, additional car park and demolition of some internal walls – Permitted 14/02/1998

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C99A/0035/11/CR Installation of two air handling units and associated duct works – Permitted 19/03/1999

C99A/0301/11/CR I) reduce the size of two air handling units for which listed building consent was granted under reference C99A/0035/11/CR II) provide an additional air handling unit III) provide louvres in the existing dormer IV) demolish a chimney stack and rebuild it in the same form to contain a ventilation flue V) provide a handrail along the fire escape route on the first floor – Permitted 21/08/1999

C99A/0560/11/HY – Permitted 05/01/2000

C99A/0556/11/CR continued use of the building for educational purposes: internal and external alterations; louvres in existing dormers, ventilation grilles and doors (part 2) – Permitted 06/01/2000

C99A/0557/11/LL continued use of the building for educational purposes; internal and external alterations; louvres in existing dormers, ventilation grilles and doors (part 2) – Permitted 01/12/1999

C99A/0660/11/HY signs (revised application) – Permitted 14/02/2000

C00A/0091/11/LL siting of temporary building for 6 months – Permitted 29/03/2000

C00A/0621/11/CR variation of condition on consent number C99A/0301/11/CR to allow change of colour of ventilation units – Permitted 19/01/2001

C06A/0481/11/CR External alterations to roof – Permitted 07/09/2006

C09A/0483/11/LL install a temporary portacabin at the rear of the building and create an opening to connect it to the existing building – Permitted 03/11/2009

C09A/0466/11/CR install a temporary portacabin at the rear of the building and create an opening to connect it to the existing building – Permitted 11/01/2010

C09A/0612/11/CR installation of internal platform lift (for carrying goods) – Permitted 29/01/2010

C12/1275/11/CR Construction of canopy over a parking space at the side of a building – Permitted 12/12/2012

4. Consultations:

Community/Town Council: Not received

Transportation Unit: I refer to the above application to demolish rear extensions and erect a new two-storey extension along with landscaping works, erecting a bicycle and bin storage building and reconfiguring the car park at Coleg Menai.

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Parking

As there is no expected increase in the level of traffic activity on the site, the current number of parking spaces is considered sufficient for the proposed scheme

Access for Buses

As stated in the Transport Statement, access to public transport services is within an acceptable walking distance of the site, providing a regular and consistent service.

Walking and Cycling Links

We welcome the plan to provide a significant number of bicycle parking spaces together with the proposed path to the Reichel Building, we see this as a positive step towards promoting active travel for staff and students of the college. To ensure the safety of cyclists from mixing with vehicles, the applicant proposes a safe and direct route that avoids travel through the car park, which allows cyclists to reach the bicycle parking area safely.

For information to the applicant, in the near future Trem Elidir will be changed to a Quiet Route, creating an opportunity for the site to integrate with a new active travel route on Penrhosgarnedd Road

Conclusion

Following our comments, I confirm that the Transportation Unit has no objection to this application. However, we request that the following condition be included with any permission given:

CONDITION

The applicant must provide a safe and direct route for cyclists, linking the site entrance to the bicycle parking area, in a manner that avoids travel through the car park

Welsh Water:

Comments 17/02/2026

We refer to your planning consultation relating to the above site, and we can provide the following comments in respect to the proposed development.

Firstly, with respect to the submitted application form and accompanying Drainage Strategy, we acknowledge that the development proposes to discharge both foul and surface water flows to a public sewer.

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FOUL WATER

The proposed development site is located in the catchment of a public sewerage system which drains to Treborth Wastewater Treatment Works (WwTW). We have considered the impact of foul flows generated by the proposed development and concluded that flows can be accommodated within the public sewerage system.

SURFACE WATER

Turning to surface water drainage, as of 7th January 2019, this proposed development is subject to Schedule 3 of the Flood and Water Management Act 2010. The development therefore requires approval of Sustainable Drainage Systems (SuDS) features, in accordance with the 'Statutory standards for sustainable drainage systems – designing, constructing, operating and maintaining surface water drainage systems'. However, in this instance, we would advise that there is no agreement to communicate surface water flows into the public combined sewer. Furthermore, Planning Policy Wales highlights that any surface water from new developments should not be discharged to combined systems because of the risk of pollution when combined systems overflow (Para 6.6.3).

Accordingly, as a material consideration within the planning process and in the absence of an acceptable surface water strategy, we specifically request that the accompanying Drainage Strategy does not form part of any approved plans condition or otherwise we request we are re-consulted on receipt of an amended Drainage Strategy.

ASSET PROTECTION

In addition, this site is crossed by public watermains with their approximate positions being marked on the attached statutory public watermain record. In accordance with the Water Industry Act 1991, Dwr Cymru Welsh Water requires access to its apparatus at all times in order to carry out maintenance and repairs. Having regard to the proposed site plan, it appears the proposed extension would be situated outside the protection zone of the public watermains measured 3 metres either side of the centreline.

We note from the proposed site plan that existing levels may need to be adjusted to maximise accessibility for the new Reichel Path. We would advise it is not permissible to raise or lower ground levels above or within the protection zones of our assets. Therefore, if minded to grant planning permission, we would request that the condition below is included within any planning permission. Please note, the distance specified for these protection zones are indicative and based on industry standard guidelines. However, the depth of the assets will need to be verified on site which may infer greater

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protection zones. For completeness, we recommend the developer refer to their title deeds to confirm if there are any covenants or restrictions associated with the assets crossing the proposed development site.

Also it is recommended that the developer contact our Plan and Protect team (PlanandProtect@dwrwymru.com) to carry out a survey to verify the location of the assets and establish their relationship to the proposed development.

Accordingly, if you are minded to grant planning consent for the above development, we would request that the following Conditions and Advisory Notes are included within the consent to ensure no detriment to existing residents or the environment and to Dwr Cymru Welsh Water's assets:

Condition 1

No development shall commence until the following have been submitted to and agreed in writing by the Local Planning Authority:

- 1) Asset location survey has been undertaken to ascertain the exact location, condition, depth and material; and
- 2) A detailed site plan, as informed by point 1) above to demonstrate the relationship of the proposed development and its loading implications with our asset and confirm that the required protection zone and access can be maintained, and the required protection measures relevant to the asset can be put in place; and
- 3) If necessary, a scheme to divert the asset.

No works as part of the development pursuant to this permission shall be carried out on site until such a time that the approved scheme/works have been constructed, completed and brought into use with the approved scheme. Thereafter the approved development will be retained in perpetuity.

Reason: To protect the integrity of the public watermain(s) and avoid damage thereto and in accordance with Development PCYFF 2 of the Joint Anglesey and Gwynedd Local Development Plan.

Condition 2

No surface water from any increase in the roof area of the building /or impermeable surfaces within its curtilage shall be allowed to drain directly or indirectly to the public sewerage system.

Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment.

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Biodiversity Unit:

Comments 25/03/2026

This is suitable, no objection. Planning should be conditioned in strict conformity to these plans.

Comments 28/01/2026

The GIS provided is suitable – however, the design plans should still be amended to clarify the position of the proposed bat mitigation and the enhancement measures described in the ecological reports and GIS

Comments 02/12/2025

The works will result in the destruction of an active bat roost (identified in the Ecological Impact Assessment) known to be used by at least one common pipistrelle bat. The works also have the potential to disturb bats using other areas of the site that are being retained. In line with the stepwise approach, this loss of habitat must be mitigated.

The ecological report states the following (sec. 4.18): “An application to Natural Resources Wales will need to be made with regards to acquiring a European Protected Species licence in order that the bat roost within Building 2 can be destroyed in the appropriate manner, with consideration of disturbance of common pipistrelles within Building 1. This should include details of a bat tile or bat brick integrated into the new building in as close a position to the existing roost as possible to compensate for its loss.”

I have reviewed the design plans but am unable to identify this proposed mitigation measure. The applicant should amend the design plans accordingly.

All applications of this scale should also be submitted with a Green Infrastructure Statement, explaining how the proposal follows the stepwise approach and achieves a Net Benefit for Biodiversity. I have attached our template for reference.

The Language Unit:

The Statement outlines a clear rationale for the linguistic risk/impact identified in the body of the Statement.

It was encouraging to read that engagement with the local Menter Iaith has been included on the list of mitigation measures, and that the university intends to regularly review the language preferences and use of students and staff as part of the monitoring process.

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Land Drainage Unit:

A re-consultation was sent to the Unit following additional information but at the time of preparing the report no response has been received.

Comments 12/02/2026

A Drainage Statement has been submitted as part of the planning application, which states that surface water from the proposed development is intended to be discharged through an existing connection to DCWW's combined system. For us to be satisfied with the proposed drainage strategy, we will require evidence demonstrating that all higher-priority options within the surface water drainage hierarchy have been thoroughly explored and discounted before progressing to lower-priority discharge destinations.

Priority 2: Infiltration

- The drainage strategy references a ground investigation report containing the BRE 365 infiltration test results; however, we have been unable to locate this document within the planning submission. We request that this report is provided, as evidence of on-site infiltration testing is required to demonstrate that infiltration has been properly considered as part of the surface water drainage hierarchy.

Priority 4: Surface Water System

- Having reviewed the DCWW asset plans, it appears that a surface water system is located approximately 200m to the east of the site. We will require justification as to why this outfall option has not been considered within the proposed drainage strategy.
- We also request that a clearer plan of the existing surface water systems is provided. The current GPR survey (Appendix F) is difficult to interpret due to the presence of numerous additional utilities that are not relevant to the surface water network.

Priority 5: Combined Sewer

- Comprehensive evidence must be provided to justify rejecting all higher-priority options. Due to capacity constraints, Welsh Water are reluctant to accept surface water connections.
- If an existing connection exists, the applicant must demonstrate that the new development will improve flow rate and volume. There are calculations showing a significant improvement in rate. However, we ask that a plan showing a breakdown of the existing and proposed contributing area is also

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submitted.

Until more information and evidence is provided, we offer a holding objection.

Natural Resources Wales: Comments 04/02/2026

We continue to have concerns with the application as submitted. However, we are satisfied that these concerns can be overcome if the document identified below is included in the approved plans and documents condition on the decision notice:

- (Bat Nocturnal Survey, Ascerta, Ref: P.2232.25, September 2025)

Please note, without the inclusion of this document we would object to this planning application. Further details are provided below.

Protected Species

We have reviewed the following information submitted in support of the application:

- (Bat Nocturnal Survey, Ascerta, Ref: P.2232.25, September 2025)

We note that the bat report has identified that the application site supports 5 common pipistrelle bats roosting in the building B1.

Bats and their breeding and resting places are protected under the Conservation of Habitats and Species Regulations 2017 (as amended). Where bats are present and a development proposal is likely to contravene the legal protection they are afforded, the development may only proceed under licence issued by Natural Resources Wales, having satisfied the three tests set out in the Regulations (Please also refer to Paragraph 6.3.7 of Technical Advice Note 5: Nature Conservation and Planning). Please note, for the purposes of providing advice at the planning application stage, our comments are limited to the test relating to “demonstration of no detriment to the maintenance of the favourable conservation status of European protected species”.

We consider that the above report provides an adequate basis upon which to consider the potential impacts of the scheme on this species and inform the decision-making process.

We consider that the development is not likely to be detrimental to the maintenance of the population of the species concerned at a favourable conservation status in its natural range provided the measures set out in the submitted report are implemented.

Therefore, we advise that the following document is included in the approved list of plans / documents condition within the decision

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notice:

- (Bat Nocturnal Survey, Ascerta, Ref: P.2232.25, September 2025)

We also advise that the works are carried out under licence. We refer you to the Chief Planning Officer's letter dated 1 March 2018 which advises Local Planning Authorities to attach an informative regarding licence requirements to all consents and notices where European Protected Species are likely to be present on site.

Please note, any changes to plans between planning consent and the licence application may affect the outcome of a licence application.

Comments 20/10/2025

We have concerns with the application as submitted because inadequate information has been provided in support of the proposal. To overcome these concerns, you should seek further information from the applicant regarding protected species. If this information is not provided, we would object to this planning application. Further details are provided below.

Protected Species

We have concerns about the above proposal and advise that further information is submitted in support of the application to assess the impacts of the proposal on bats, as European Protected Species. Bats and their breeding and resting places are protected under the Conservation of Habitats and Species Regulations 2017 (as amended).

We have reviewed the following information submitted in support of the application:

- Draft Ecological Impact Assessment, BWB, Reference 244949-BWB-ZZ-XX-T-EE 0002, 22/08/25.

We note that the submitted report has identified that bats may be present at the application site. However, section 5.8 and 5.9 of the report advises that further survey work is required in the form of emergence surveys. We concur with this advice. The report states "Further surveys have been undertaken, with results pending".

We advise that the additional survey work recommended in the report is undertaken and results submitted prior to determination of the application. Surveys should be undertaken in accordance with published best practice. If evidence of bat use is found, suitable avoidance, mitigation or compensation measures should also be provided as appropriate to the species and their use of the site.

Based on the application, as submitted, we are unable to provide your Authority with any assurance that the proposal would not be

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likely to be detrimental to the maintenance of the population of the species concerned at a favourable conservation status in its natural range.

HENEB:

Thank you for consulting us on the above applications. I have reviewed the additional information provided and write to advise that the proposed work may have archaeological impact.

The Level 3 building record recently completed establishes the development chronology of the site, identifying distinct construction phases, and confirms that the section of the building proposed for demolition—the southwest wing—was constructed in the early 20th century, shortly after the completion of the main Friars building, and therefore forms part of the earliest phase of development on the site.

The findings indicate a moderate potential for the presence of in situ structural remains or foundations associated with earlier phases of occupation on the site, namely non-extant structures as evidenced in cartographic and photographic sources. Any such evidence contributes to the understanding and appreciation of the former school and its setting, both individually and within the broader historical development of the site.

Furthermore, consideration must be given to the possibility of encountering archaeological remains or deposits connected to the early medieval burials recorded within the playing field, as related evidence may extend into the surrounding area. The application documents do not provide details of ground-intrusive works located outside the red line boundary that nonetheless form part of the scheme; but excavation within the adjacent fields may expose archaeological remains or deposits associated with this activity.

As such, if the local authority is minded to grant permission, the proposed development will include ground disturbing works on a site of archaeological potential. Any newly encountered archaeological remains would enhance the wider understanding of the area and of the site's development. Ensuring any yet undiscovered archaeological material is not unduly destroyed or lost, contributes to the preservation of heritage, and also has the potential to improve our wider understanding.

In light of the above comments and in accordance with Planning Policy Wales 12 and TAN24 The Historic Environment, it is recommended that, should planning and listed building consent be granted, the local planning authority should require the implementation of proportionate, archaeological mitigation. The following condition wording is suggested to secure such work:

(i) No development (including demolition, site clearance, excavation works etc.) shall take place until a specification for archaeological work has been submitted by the applicant (or their agent or

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successors in title) and approved in writing by the Local Planning Authority. The development shall be carried out and all archaeological work completed in accordance with the approved specification.

(ii) A detailed report on the archaeological work required by condition (i) shall be submitted to the Local Planning Authority within 6 months of completion of archaeological fieldwork and must then be approved in writing by the Local Planning Authority.

Reasons: 1) To ensure the implementation of an appropriate programme of archaeological mitigation in accordance with the requirements of Planning Policy Wales 12 and TAN24: The Historic Environment.

2) To ensure that the work will comply with MORPHE/Management of Archaeological Projects (MAP2) and the Standards and Guidance of the Chartered Institute for Archaeologists (CifA).

The archaeological mitigation work is expected to comprise a formal programme of archaeological monitoring and recording, together with supporting research, analysis and reporting as appropriate to the observations made. Sufficient time will need to be allowed in the development programme to respond to any archaeological discoveries made during the archaeological monitoring and recording.

All elements of archaeological work must be undertaken by a professional archaeological firm with relevant expertise, a database of which can be found here <https://www.archaeologists.net/civirm-contact-distance-search> (Chartered Institute for Archaeologists). The appointed archaeological contractor must agree a specification for the work with us in advance of the project.

Fire:

The Fire Authority has no observations regarding access for Fire vehicles and water supply.

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Public Consultation: A notice was posted on the site and nearby residents were notified. The advertising period has expired and correspondence was received providing comments based on:

- Support continued use of the building for educational purposes
- The heritage statement is poor
- Re-use of building materials
- It's not just the front of the building that is listed
- Transport statement and specific working times
- Lack of consultation
- Impact on the Community Garden
- The Welsh Language

5. Assessment of the material planning considerations:

The principle of the development

5.1 Considering the previous use of the site as a school and college, the relevant policy here is Policy ISA 3: Further and Higher Education Developments, which states that proposals for new facilities or extensions to existing buildings for academic or ancillary purposes will be supported provided there is consideration of scale, location, design, amenities and transportation. In considering the suitability of the site for the proposed use, it should be ensured that the sequential test has been carried out, and priority given to (in accordance with policy ISA 3):-

1. Firstly, existing further and higher education sites; or
2. Secondly, sites that have a close connection with an existing campus.

5.2 The building is owned by the University and has been vacant since Coleg Menai moved to Parc Menai, and the site is also located directly adjacent to the University's Ffriddoedd campus. It is therefore considered that the principle is acceptable in this case, and that the proposal complies with the requirements of policy ISA 3.

Visual and general amenities and design.

5.3 Policy PCYFF 3, design and place shaping states that proposals will be approved, including extensions and alterations to existing buildings and structures, only if they comply with the policy's criteria.

5.4 As noted above, the extension is located to the rear of the main building and will not be visible from the main front view. While the design from the front elevation shows that some elements of the proposed extension are visible, these plans are literal representations that do not reflect land levels. In light of this, additional information was received to assess this issue in more detail. Bearing in mind the nature of the site, and the fact that the land rises from the main road, we consider that the extension is not visible from the front. It is inevitable that the extension would be visible from the side where the playing fields are and we feel that this would be acceptable in terms of viewing the building as a whole, but we consider that justification is required for the relevant plans, and this has been received.

5.5 Following a period of consultation, two items of correspondence were received and the main points raised are shown above. One correspondence supported the proposal to continue using the

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building for educational purposes but there were some concerns within the details of the listed application as to which parts of the building are listed (this matter is addressed within the listed building application). It has also raised the fact that some of the materials from the section to be demolished should be reused, and this has included in a condition on both applications.

- 5.6 In terms of design matters, the extension has been designed around the existing features of the building as well as the colour red in relation to the red from the stone around the windows. The design is considered to be a contemporary, modern design which would be located to the rear of the main building as an ancillary extension, and since the main building would still be the main focus, and with features such as the pitched roof on the extension complimenting the old building, it is considered acceptable.
- 5.7 We believe that the proposal would improve the appearance of the site as a whole which has begun to deteriorate, and would secure a long-term new use, but would also remain in education use as the original use which is to be welcomed. Following the assessment of the relevant criteria of policies PCYFF 2, PCYFF 3 and PS20 of the LDP, the principle of the proposal is considered acceptable in this case.

Transport and access matters

- 5.8 A transport statement was submitted with the application. There is no intention to alter or modify the existing vehicular access, only to rearrange the existing parking spaces within the site, and the Transportation Unit has no objection to the proposal. As the use continues in educational use where part of the University campus already exists next door, we do not believe that there would be any increase in traffic levels and that the number of parking spaces would be suitable. Public transport passes the site often, together with pedestrian and cycle paths, however, it is considered reasonable to include a condition to agree to create a safe route for cyclists to improve the current situation.
- 5.9 In relation to refuse and recycling matters on the site, this provision has already been taking place on the site as a former College, but details of the new building which has changed location have been included within the application. The Transportation Unit had no objection to the proposal and we believe that it meets the requirements of policies TRA 2 and TRA 4 of the LDP.

Biodiversity matters

- 5.10 Wildlife reports were submitted with the application stating the presence of bats in the buildings. The Biodiversity Unit had no objection to the proposal but requested a plan showing the locations of the bat and bird nest boxes, which has been received and approved by the Biodiversity Unit. However, there is concern about the installation of two of the boxes at the front of the main building and having agreed with the Biodiversity Unit to relocate these, we consider it acceptable that a condition be imposed to agree the new location prior to their installation. Natural Resources Wales's comments agreed with this, but they proposed relevant conditions for adhering to the measures within the report. A green infrastructure statement has been submitted as part of the application, and the improvements proposed are acceptable. It is therefore considered that the proposal meets the requirements of policy PS19 of the LDP together with chapter 6 of Planning Policy Wales which ensures a step-wise approach in this case.

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Archaeological Matters

- 5.11 As demolition works form part of the application, Heneb's comments suggest setting a condition for ensuring a suitable action plan in advance. This is considered reasonable, and consequently the proposal complies with the requirements of policy PS20 of the LDP.

Drainage Matters

- 5.12 In accordance with the requirements of paragraph 7.6 of Technical Advice Note 15: Development, Flooding and Coastal Erosion, a Drainage Strategy must be submitted as part of an application to outline the drainage scheme for surface water from the site, unless a separate application has been made to the approval body, namely Cyngor Gwynedd's Land Drainage Unit. It is proposed initially to connect the surface water to the main sewer, and Welsh Water has highlighted that this is not acceptable. In addition, the Land Drainage Unit has confirmed that further information is required to be able to confirm that this method is acceptable. Further information was received which highlights that the area of hard floor is being reduced as a result of the proposal, and a consultation was sent to Welsh Water and the Land Drainage Unit. No response had been received at the time of writing the report. Subject to receiving positive comments from Welsh Water and the Land Drainage Unit, the proposal is considered acceptable and complies with the requirements of TAN 15.

The Welsh Language

- 5.13 In accordance with the Planning (Wales) Act 2015, it is a duty when making a decision on planning applications to consider the Welsh language, where it is relevant to that application. This is reiterated further in para 3.28 of Planning Policy Wales (Edition 12, 2024), and Technical Advice Note 20.
- 5.14 The Supplementary Planning Guidance (SPG) 'Maintaining and Creating Distinctive and Sustainable Communities' (adopted July 2019), provides further guidance on how considerations regarding the Welsh language are expected to be incorporated into all relevant developments.
- 5.15 It is noted that there are certain types of development where the proposal will be required to submit a Welsh Language Statement or a Welsh Language Impact Assessment Report. The thresholds in terms of when it is expected to submit a Statement/Report are highlighted in Policy PS1 of the Joint LDP, along with Diagram 5 of the SPG. In this case, a language statement has been submitted as part of the application and the Language Unit has provided positive comments. It is considered appropriate to impose conditions to ensure that signs promoting the development are bilingual. As a result, the proposal is not considered to be contrary to the relevant requirements of policy PS 1 and the relevant SPG.

Response to the public consultation.

- 5.16 It is acknowledged that objections have been received to this proposal and we consider that all relevant planning matters have been addressed appropriately as part of the above assessment. We note that the correspondence highlighted a lack of consultation, although a full consultation did take place on the planning and listed application; and also any impact on the Community Garden which is across the road from the site, the Local Planning Authority understands that there has already been a meeting between the developers and the correspondents to discuss this issue.

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5.17 The decision is made based on full consideration of all material planning considerations and all the observations received during the public consultation, and no one has been placed at a disadvantage in considering this application.

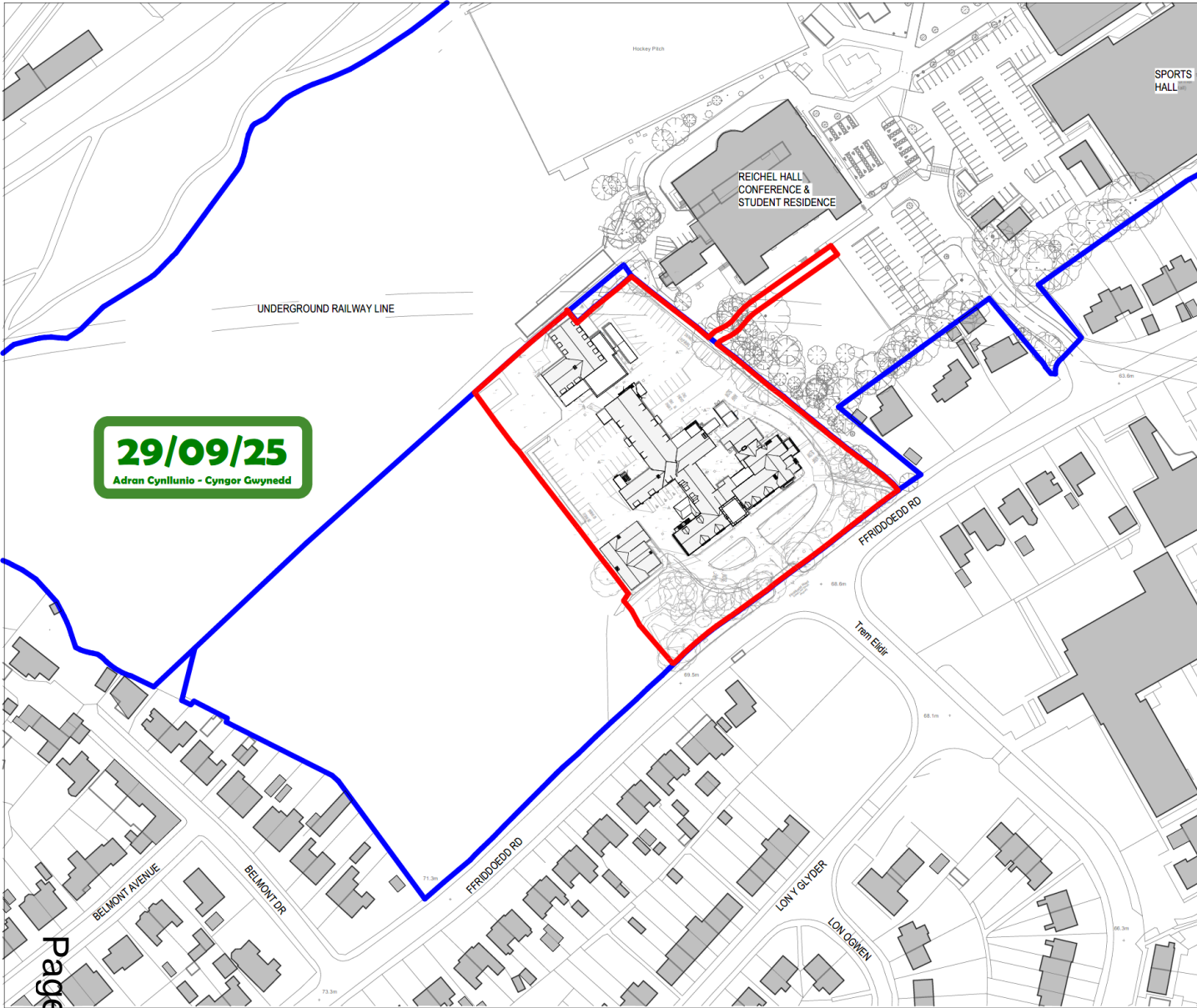
6. Conclusions:

6.1 In accordance with the above assessment, we consider that the proposal has been fully justified and that it also respects the building by keeping the modern extension to the rear and keeping the interior alteration works to a minimum, but also retaining and reusing features within the building. In this case, and subject to receiving positive comments from Welsh Water and the Land Drainage Unit, the proposal is considered acceptable to be granted permission.

7. Recommendation:

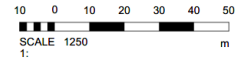
7.1 To approve subject to conditions on receiving acceptable representations from the Drainage Unit and Welsh Water:

1. 5 years
2. In accordance with the plans.
3. Archaeological condition
4. Details of any secondary glazing to be agreed beforehand.
5. Agree to re-use materials from the building to be demolished
6. Aluminium rainwater goods
7. Specifications of solar panels
8. Details of any lights to be agreed
9. Details of any signs to be agreed
10. Details of the screen by the stairs to be submitted before its installation.
11. Details of how the footprint of the gym will be recorded must be submitted before its demolition
12. Submit samples of the materials
13. Use of lime with any pointing/rendering work
14. Highways Condition
15. Welsh Water Conditions
16. Language Conditions
17. Biodiversity conditions including agreeing mitigation measures and completing the improvements



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9. The Architect does not warrant that planning permission, Building Control/Building Safety Regulator Approval and other approvals from third parties shall be granted at all or, if granted, will be granted in accordance with any anticipated timescale. All designs provided are subject to such approval.
10. Any facade/cladding design provided by DAY Architectural Limited is in relation to indicative design intent only and DAY Architectural Limited shall have no contractual or insurance liability for such design however provided.
11. This drawing must not be used for 'tender' or 'construction' purposes unless noted otherwise.
12. Do not scale off drawings. Any measurements taken from information which is not dimensioned on the electronic copy are at the risk of the recipient.



SITE LOCATION PLAN KEY

- Land Ownership Boundary
- Proposed Site Boundary

Area: 2.39a / 0.97ha



REV DESCRIPTION	DATE	BY	CHK
P03 Planning Issue	19.09.25	DH	CG
P02 Issued for Planning	29.08.25	GS	CG
P01 Draft Planning Issue	06.08.25	GS	CG

CLIENT
Bangor University

CONTRACTOR

DAY Architectural Ltd
Lancaster Buildings | 77 Deansgate
Manchester | M3 2BW
T: 0161 834 9703 | W: www.day-architectural.com



PROJECT
New Business School, Bangor University

DRAWING SCALE
Site Location Plan - Red Line Boundary As indicated @ A3

PROJ REF	DAY REF	DRAWN BY	FIRST ISSUED			
	1496-23	DH	29.05.25			
ORI	VOL	LEV	TYP	ROL	NUM	REV
DAY	V1	XX	DR	A	02-9001	P03
SUITABILITY	DRAWING STATUS					
S2	PLANNING					

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29/09/25

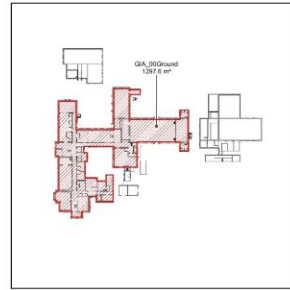
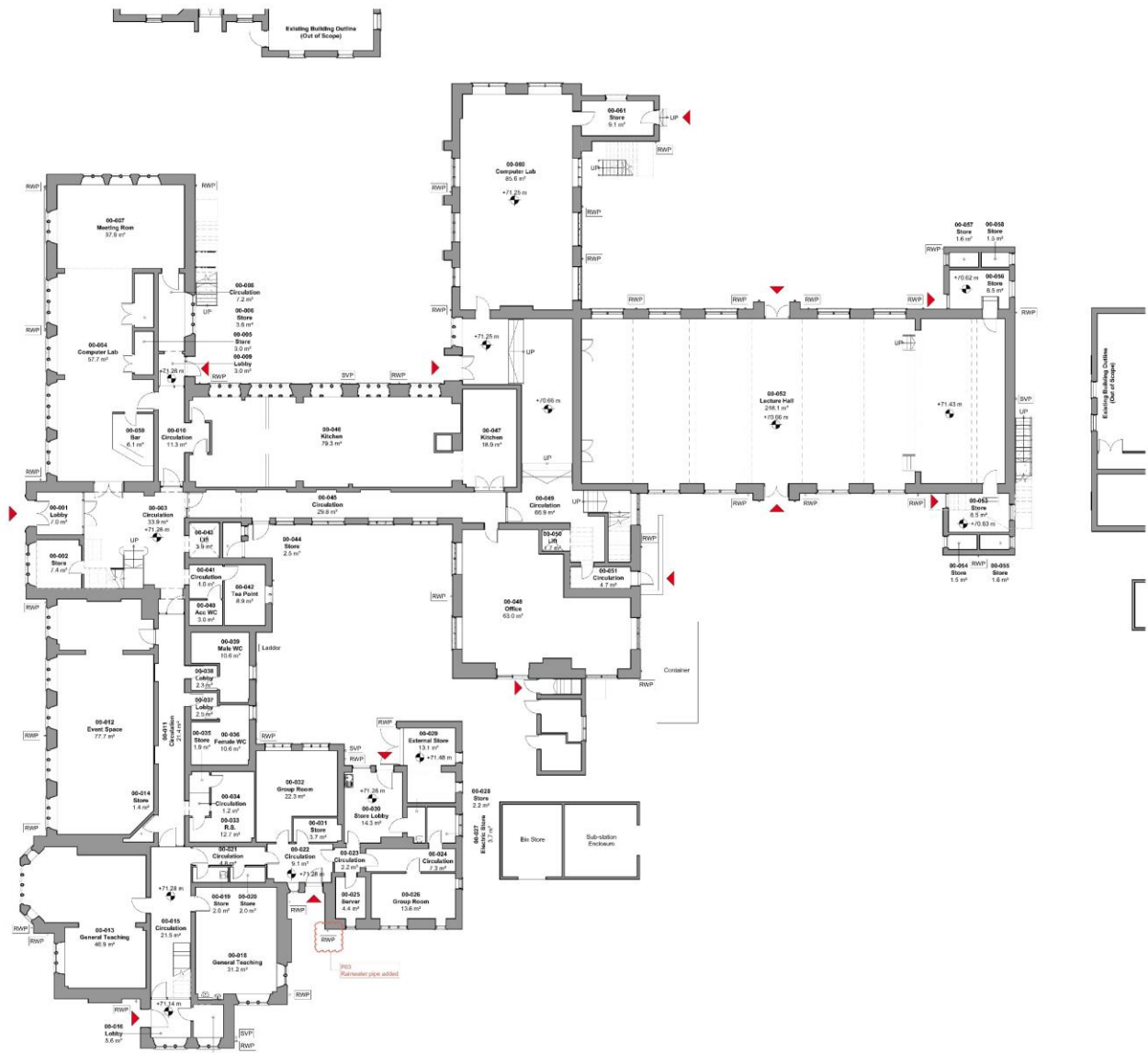
Adran Cynllunio - Cyngor Gwynedd

Notes:
 1. All dimensions are in meters.
 2. All areas are in square meters.
 3. All elevations are in meters above sea level.
 4. All rooms are numbered according to the room schedule.
 5. All rooms are named according to the room schedule.
 6. All rooms are sized according to the room schedule.
 7. All rooms are located according to the room schedule.
 8. All rooms are oriented according to the room schedule.
 9. All rooms are finished according to the room schedule.
 10. All rooms are equipped according to the room schedule.



Room Schedule_Existing_00Ground

Number	Name	Area
00Ground		
00-001	Lobby	7.0 m ²
00-002	Store	7.4 m ²
00-003	Circulation	33.9 m ²
00-004	Computer Lab	57.7 m ²
00-006	Store	3.8 m ²
00-008	Store	3.8 m ²
00-007	Meeting Room	37.8 m ²
00-008	Circulation	7.2 m ²
00-008	Lobby	3.0 m ²
00-010	Circulation	11.3 m ²
00-011	Circulation	77.7 m ²
00-013	Event Space	46.8 m ²
00-014	Store	1.4 m ²
00-018	Circulation	25.5 m ²
00-018	Lobby	5.8 m ²
00-017	Aux WC	3.8 m ²
00-018	General Teaching	31.2 m ²
00-019	Store	2.0 m ²
00-020	Store	2.0 m ²
00-021	Circulation	4.8 m ²
00-022	Circulation	9.1 m ²
00-023	Circulation	2.2 m ²
00-024	Circulation	7.2 m ²
00-025	Server	4.4 m ²
00-026	Group Room	13.8 m ²
00-027	Electrical Store	3.7 m ²
00-028	Store	2.2 m ²
00-028	External Store	13.1 m ²
00-030	Store Lobby	14.3 m ²
00-031	Store	3.7 m ²
00-032	Group Room	23.3 m ²
00-033	R.S.	12.7 m ²
00-034	Circulation	1.8 m ²
00-035	Store	1.8 m ²
00-036	Female WC	10.8 m ²
00-037	Lobby	2.3 m ²
00-038	Lobby	2.3 m ²
00-039	Male WC	10.8 m ²
00-040	Aux WC	3.0 m ²
00-041	Circulation	4.0 m ²
00-042	Tap Point	8.9 m ²
00-043	LRI	3.9 m ²
00-044	Store	2.3 m ²
00-046	Circulation	29.8 m ²
00-046	Kitchen	79.3 m ²
00-047	Kitchen	18.8 m ²
00-048	Office	69.2 m ²
00-049	Circulation	96.9 m ²
00-050	LRI	1.2 m ²
00-051	Circulation	4.7 m ²
00-052	Lecture Hall	246.1 m ²
00-053	Store	8.5 m ²
00-054	Store	1.8 m ²
00-055	Store	1.8 m ²
00-056	Store	8.5 m ²
00-057	Store	1.8 m ²
00-058	Store	1.8 m ²
00-059	Bar	6.1 m ²
00-060	Computer Lab	80.4 m ²
00-061	Store	8.1 m ²
00-062	Store	138.5 m ²



ADD LMA 02 00 DR A
2000 P03
 (EXISTING BUILDING)
 GA_Plan_Existing_00Ground
 Project Number: 2330



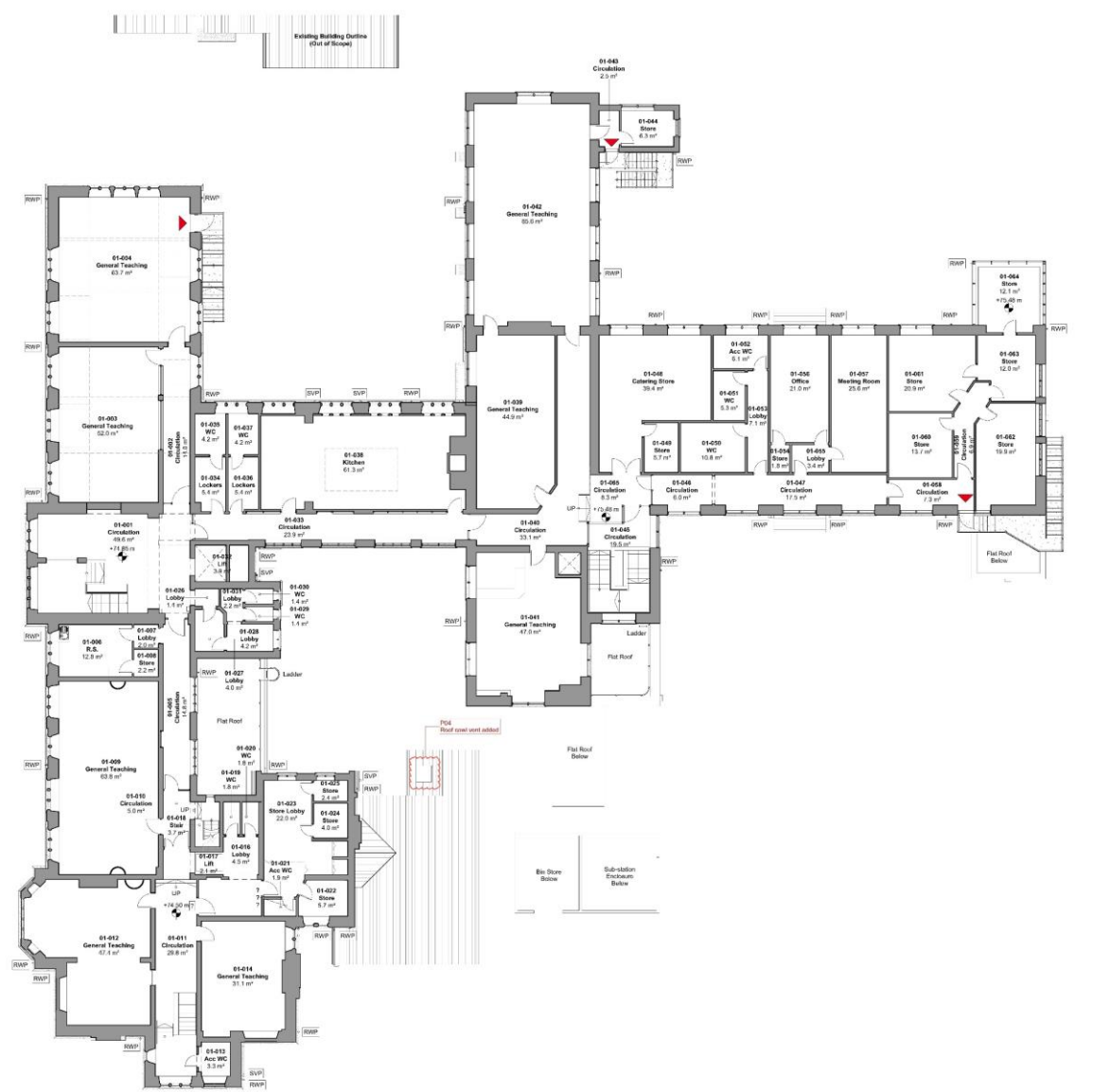
3 Searley Street Chester CH1 3LS
 01244 490421
 www.levellockwforel.com

Notes:
 1. All dimensions are in meters.
 2. All areas are in square meters.
 3. All rooms are numbered according to the Room Schedule.

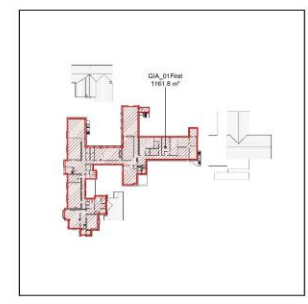


Room Schedule_Existing_01First

Number	Name	Area
01First		
01-001	Circulation	49.6 m²
01-002	Circulation	14.2 m²
01-003	General Teaching	32.0 m²
01-004	General Teaching	63.1 m²
01-006	Circulation	11.8 m²
01-008	R.S.	13.3 m²
01-007	Lobby	2.0 m²
01-008	Store	2.2 m²
01-008	General Teaching	63.8 m²
01-010	Circulation	5.0 m²
01-011	Circulation	29.8 m²
01-012	General Teaching	47.4 m²
01-013	Acc W/C	3.3 m²
01-014	General Teaching	31.1 m²
01-015	Circulation	7.1 m²
01-016	Lobby	4.5 m²
01-017	LR	2.1 m²
01-018	Stair	3.7 m²
01-018	WC	1.8 m²
01-020	WC	1.8 m²
01-021	Acc W/C	1.9 m²
01-022	Store	5.1 m²
01-023	Store Lobby	22.0 m²
01-024	Store	4.0 m²
01-025	Store	2.4 m²
01-026	Lobby	1.4 m²
01-027	Lobby	4.0 m²
01-028	Lobby	4.2 m²
01-029	WC	1.4 m²
01-030	WC	2.3 m²
01-031	Lobby	1.4 m²
01-032	LR	3.8 m²
01-033	Circulation	23.8 m²
01-034	Lockers	5.1 m²
01-035	WC	4.2 m²
01-036	Lockers	5.1 m²
01-037	WC	4.2 m²
01-038	Kitchen	61.3 m²
01-038	General Teaching	44.9 m²
01-040	Circulation	33.1 m²
01-041	General Teaching	47.0 m²
01-042	General Teaching	65.1 m²
01-043	Circulation	2.9 m²
01-044	Store	6.2 m²
44		791.6 m²
01First_01		
01-045	Circulation	19.9 m²
01-046	Circulation	5.0 m²
01-047	Circulation	17.2 m²
01-048	Coloring Store	36.4 m²
01-048	Store	5.7 m²
01-050	WC	10.8 m²
01-051	WC	9.9 m²
01-052	Acc W/C	6.1 m²
01-053	Lobby	7.1 m²
01-054	Stair	1.8 m²
01-055	Lobby	3.1 m²
01-056	Office	21.1 m²
01-057	Meeting Room	25.6 m²
01-058	Circulation	7.3 m²
01-059	Circulation	19.9 m²
01-060	Stair	13.7 m²
01-061	Store	20.9 m²
01-061	Store	12.3 m²
01-062	Store	19.9 m²
01-063	Store	12.2 m²
01-064	Store	12.1 m²
01-065	Circulation	6.2 m²
Total NA @		1,052.0 m²



Existing Building Outline (Not at Scale)



Notes:
1. All dimensions are in feet and inches.
2. All dimensions are to the centerline of the roof structure.
3. All dimensions are to the finished roof surface.
4. All dimensions are to the exterior face of the roof structure.
5. All dimensions are to the exterior face of the roof structure.
6. All dimensions are to the exterior face of the roof structure.
7. All dimensions are to the exterior face of the roof structure.
8. All dimensions are to the exterior face of the roof structure.
9. All dimensions are to the exterior face of the roof structure.
10. All dimensions are to the exterior face of the roof structure.



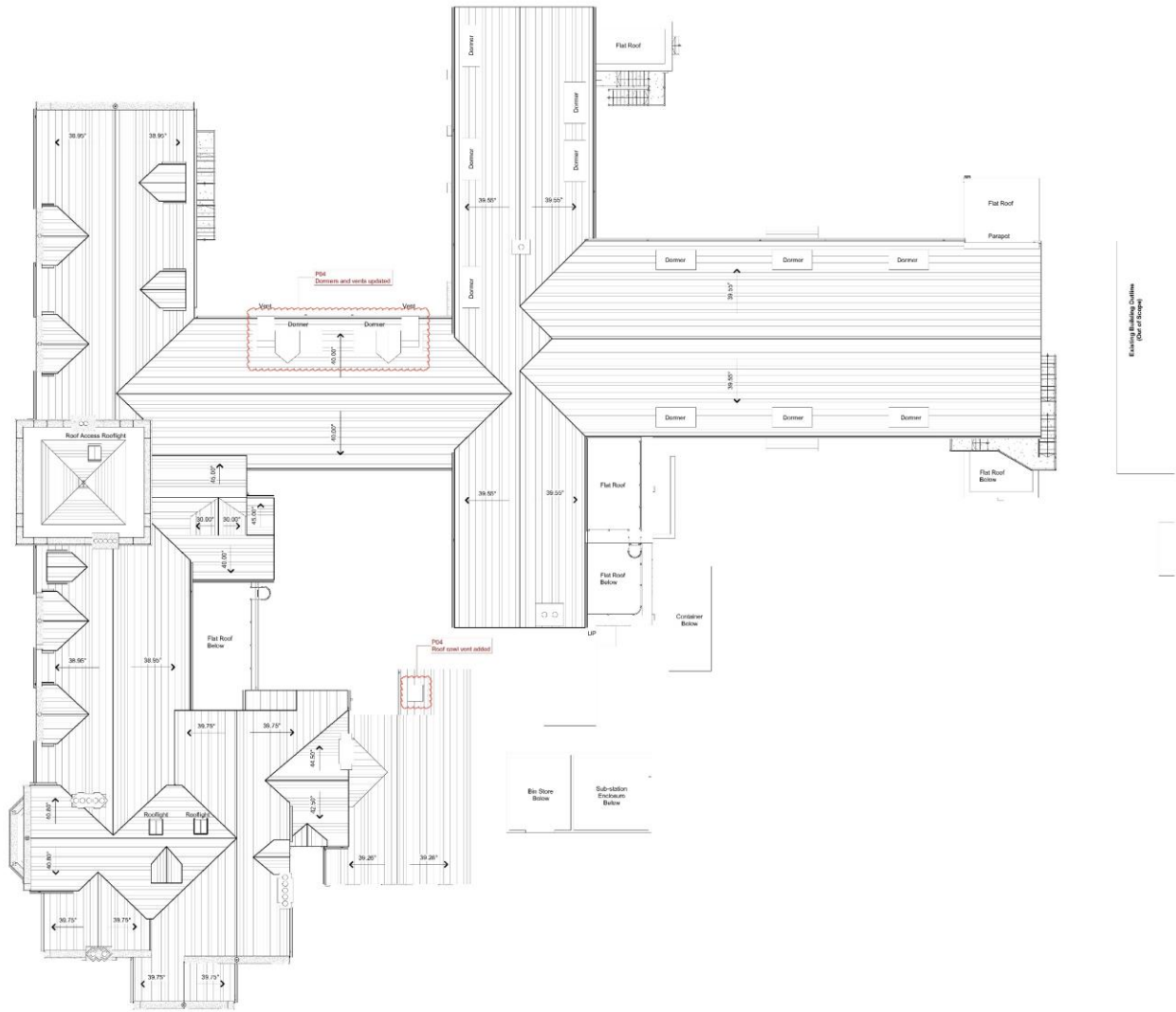
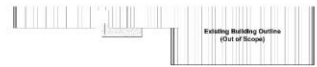
NO.	DESCRIPTION	DATE
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02	ISSUED FOR PERMIT	01/15/2024
03	ISSUED FOR PERMIT	01/15/2024
04	ISSUED FOR PERMIT	01/15/2024
05	ISSUED FOR PERMIT	01/15/2024
06	ISSUED FOR PERMIT	01/15/2024
07	ISSUED FOR PERMIT	01/15/2024
08	ISSUED FOR PERMIT	01/15/2024
09	ISSUED FOR PERMIT	01/15/2024
10	ISSUED FOR PERMIT	01/15/2024

ADD LMA 02 R1 DR A
2004 P04
[EXISTING BUILDING]
GA_Plans_Existing_Roof

New Business School
Ranger University, Fieldstead
Road, Georgia 31727
Status: D2 (For Tender)
Project Number: 2330

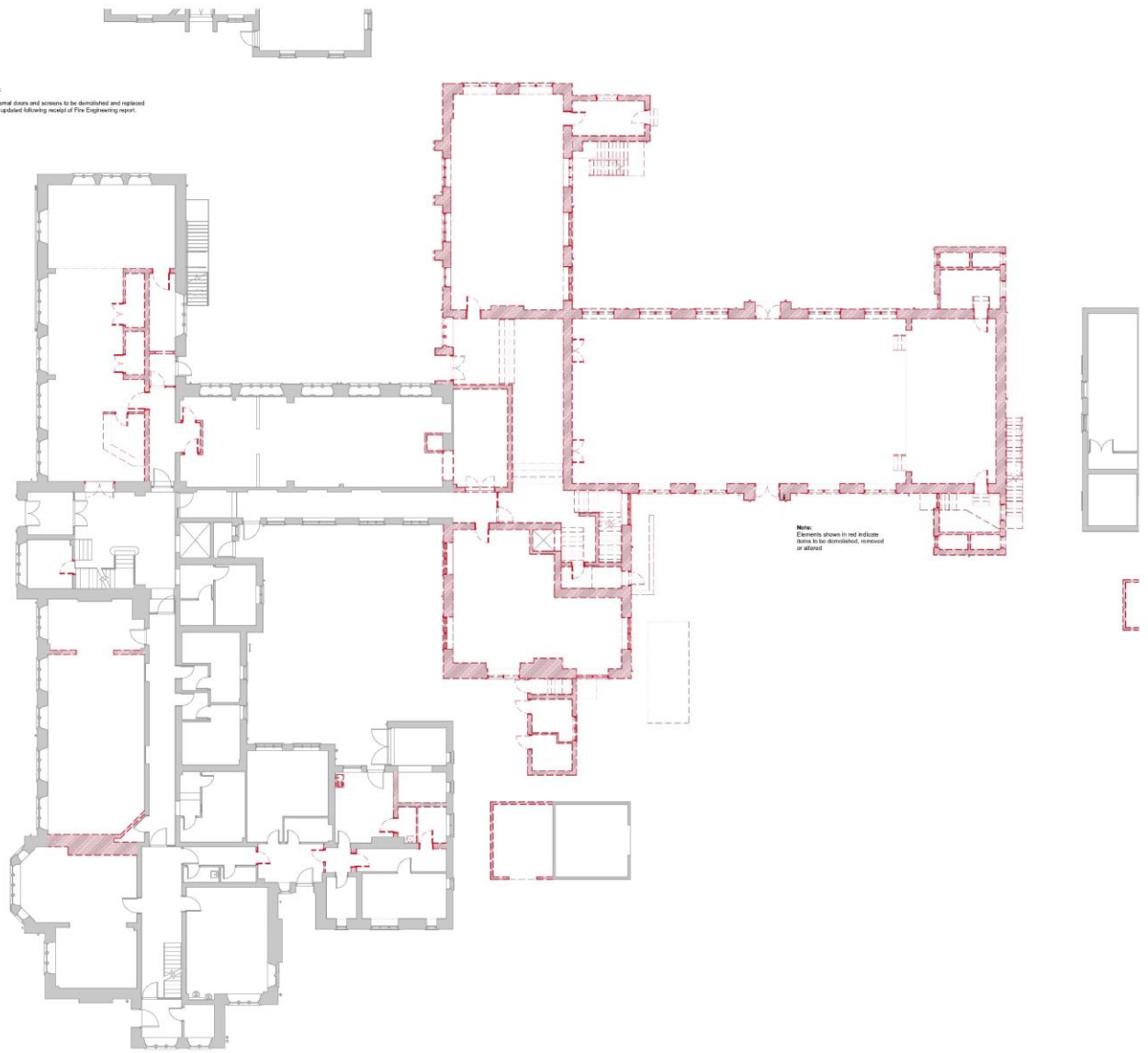


3 Santee Street, Chester CH1 3LS
01244 404221
www.levelokwforell.com

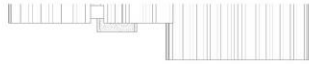




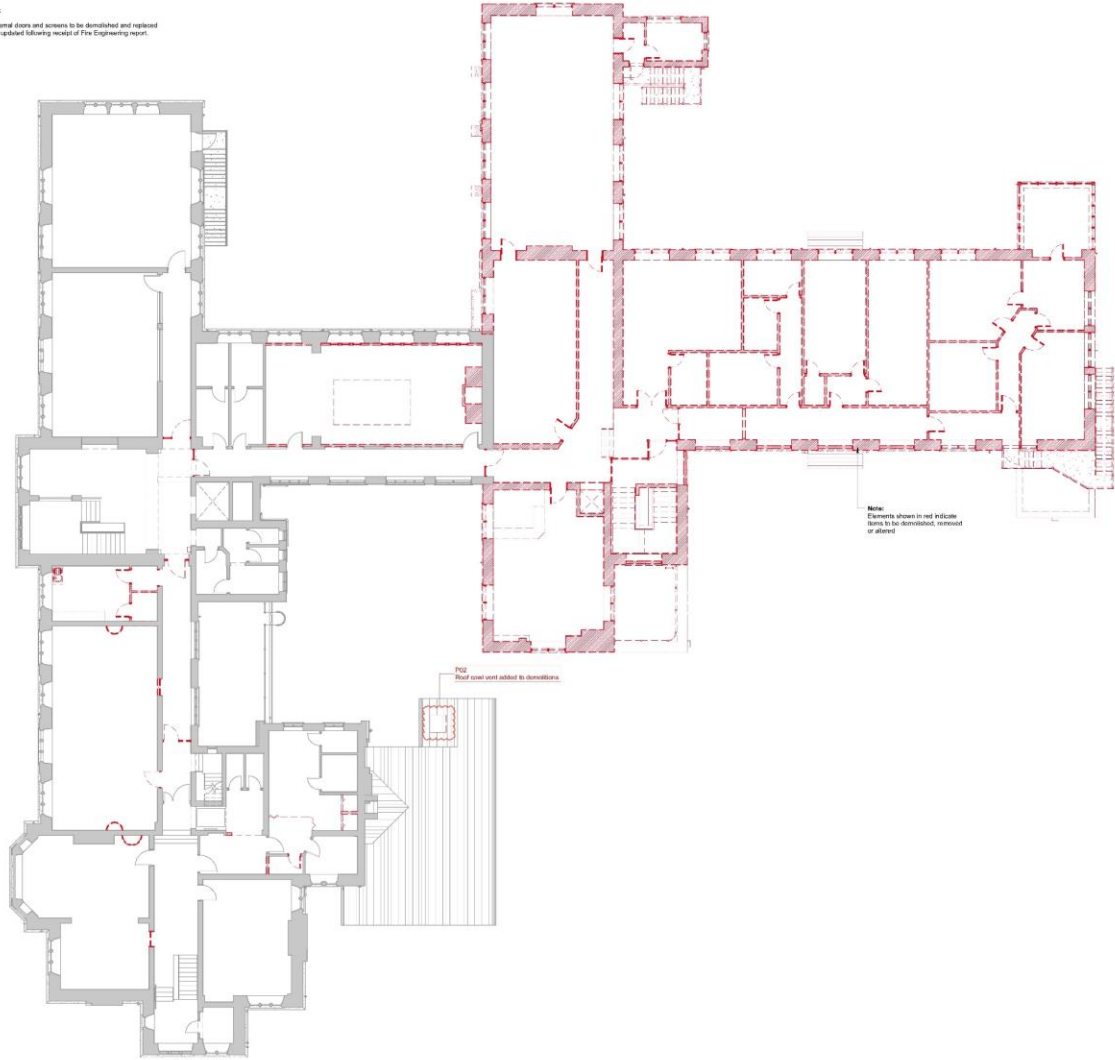
Important Note:
Full extent of internal doors and screens to be demolished and replaced unknown. To be updated following receipt of Fire Engineering report.



Note:
Elements shown in red indicate items to be demolished, removed or altered



Important Note:
 Full extent of internal doors and screens to be demolished and replaced unknown. To be updated following receipt of Fire Engineering report.



Note:
 Elements shown in red indicate items to be demolished, removed or altered

102
 Roof cover over added to demolition



1:25 @ A1

- Notes:**
1. All work to be carried out in accordance with the relevant Building Regulations and Approved Documents.
 2. All work to be carried out in accordance with the relevant British Standards.
 3. All work to be carried out in accordance with the relevant Codes of Practice.
 4. All work to be carried out in accordance with the relevant Health and Safety legislation.
 5. All work to be carried out in accordance with the relevant Environmental legislation.
 6. All work to be carried out in accordance with the relevant Fire Safety legislation.
 7. All work to be carried out in accordance with the relevant Access to Work legislation.
 8. All work to be carried out in accordance with the relevant Equality legislation.
 9. All work to be carried out in accordance with the relevant Data Protection legislation.
 10. All work to be carried out in accordance with the relevant Freedom of Information legislation.





Reported Note:
Full extent of internal doors and screens to be demolished and replaced unknown. To be updated following receipt of Fire Engineering report.

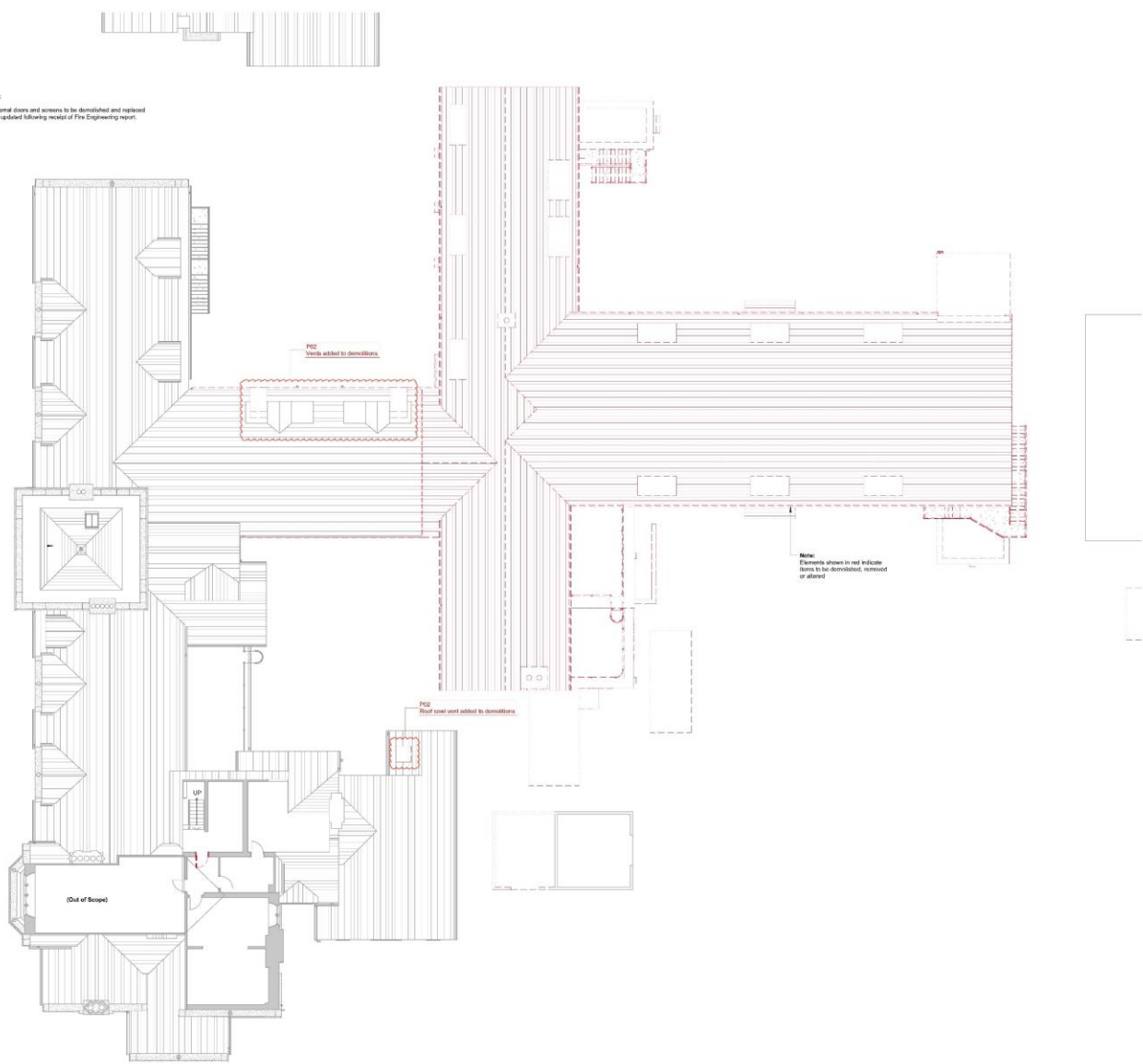
Note:
Additional space under this area removed during negotiations. No survey information available.

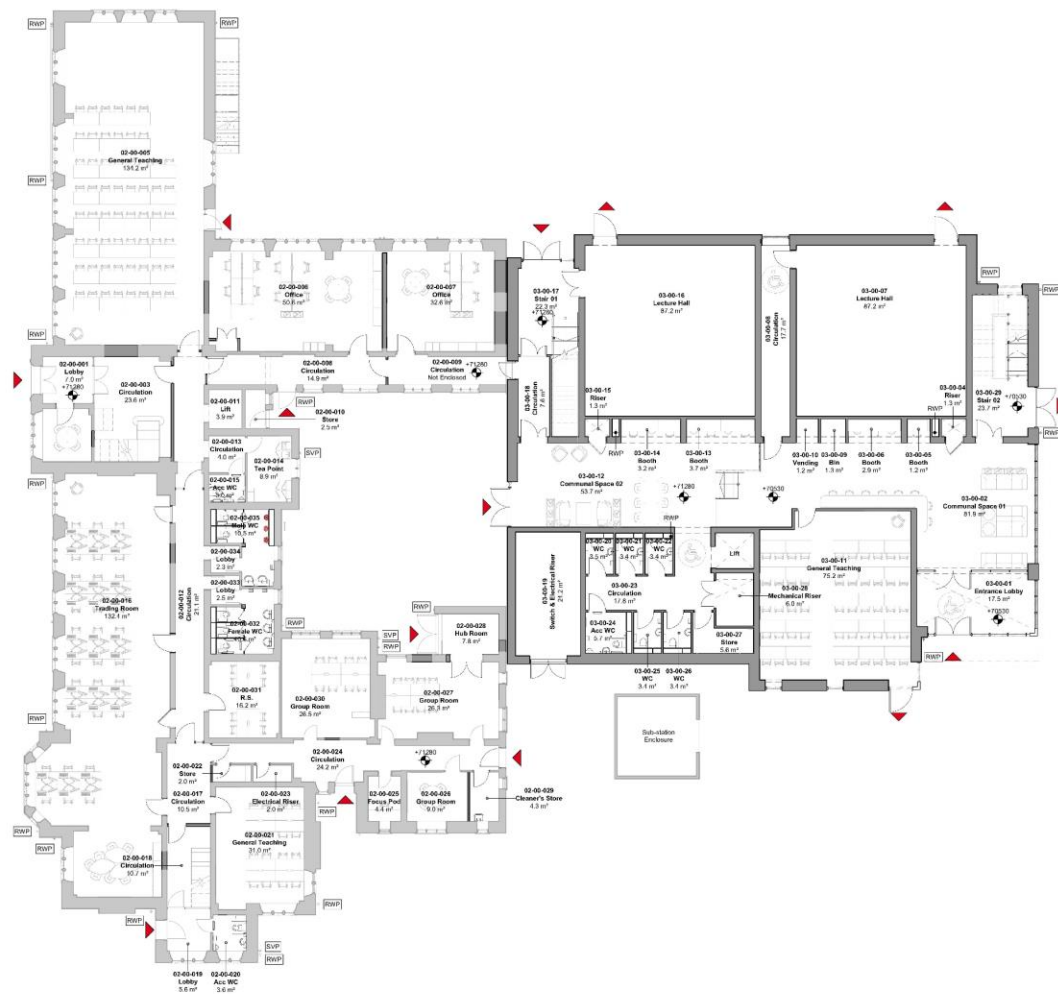
Note:
Elements shown in red indicate items to be demolished, removed or altered.

PI2
Verbs added to demolitions

PI2
Roof cover added to demolitions

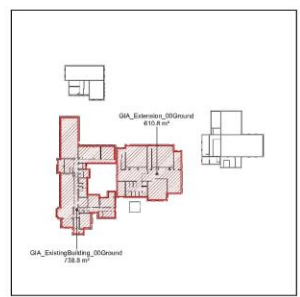
(Out of Scope)





Room Schedule_Extension_00Ground		
Number	Name	Area
00LowerGround		
03-00-01	Entrance Lobby	17.3 m²
03-00-02	Common Space 01	81.9 m²
03-00-04	Riser	1.3 m²
03-00-05	Booth	1.2 m²
03-00-06	Booth	2.8 m²
03-00-07	Lecture Hall	87.2 m²
03-00-08	Circulation	17.7 m²
03-00-09	Stair	1.3 m²
03-00-10	Vending	1.2 m²
03-00-11	General Teaching	75.2 m²
03-00-28	Stair 02	23.7 m²
11		311.2 m²
00Ground		
03-00-12	Common Space 02	63.7 m²
03-00-13	Booth	3.7 m²
03-00-14	Booth	2.2 m²
03-00-15	Riser	1.3 m²
03-00-16	Lecture Hall	87.2 m²
03-00-17	Stair 01	22.3 m²
03-00-18	Circulation	74.6 m²
03-00-19	Stair & Electrical Riser	24.2 m²
03-00-20	WC	3.3 m²
03-00-21	WC	3.4 m²
03-00-22	WC	3.4 m²
03-00-23	Circulation	11.8 m²
03-00-24	Acc.WC	5.7 m²
03-00-25	WC	3.4 m²
03-00-26	WC	3.4 m²
03-00-27	Stair	5.6 m²
03-00-28	Mechanical Room	6.0 m²
17		288.5 m²
Total NIA_28		588.7 m²

Room Schedule_Existing Building_00Ground		
Number	Name	Area
A08-LMA-02-ZZ-M1-A-002_30kloor_ExistingBuilding		
00Ground		
02-00-001	Lobby	7.0 m²
02-00-002	Meeting Space	7.4 m²
02-00-003	Circulation	23.6 m²
02-00-004	Circulation	9.4 m²
02-00-005	General Teaching	134.2 m²
02-00-006	Office	206.8 m²
02-00-007	Office	202.6 m²
02-00-008	Circulation	14.9 m²
02-00-009	Circulation	2.5 m²
02-00-010	Stair	3.9 m²
02-00-011	LIR	1.9 m²
02-00-012	Circulation	21.1 m²
02-00-013	Circulation	1.0 m²
02-00-014	Tray Plant	8.8 m²
02-00-015	Acc.WC	3.0 m²
02-00-016	Teaching Room	132.4 m²
02-00-017	Circulation	105.1 m²
02-00-018	Circulation	10.7 m²
02-00-019	Lobby	5.6 m²
02-00-020	Acc.WC	3.4 m²
02-00-021	General Teaching	31.0 m²
02-00-022	Stair	2.9 m²
02-00-023	Electrical Riser	2.8 m²
02-00-024	Circulation	24.2 m²
02-00-025	Focus Pod	4.4 m²
02-00-026	Group Room	9.9 m²
02-00-027	Group Room	26.3 m²
02-00-028	Hub Room	7.8 m²
02-00-029	Chairman's Suite	4.3 m²
02-00-030	Group Room	28.5 m²
02-00-031	R.R.	16.2 m²
02-00-032	Female WC	10.6 m²
02-00-033	Lobby	2.9 m²
02-00-034	Lobby	2.3 m²
02-00-035	Male WC	10.3 m²
02-00-036	Electrical Riser	0.8 m²
		988.2 m²
Total NIA_30		988.2 m²



Notes
 1. The drawings are to be read in conjunction with the contract documents.
 2. All dimensions are to be taken from the centerline of the building unless otherwise specified.
 3. The drawings are to be read in conjunction with the contract documents.
 4. The drawings are to be read in conjunction with the contract documents.
 5. The drawings are to be read in conjunction with the contract documents.
 6. The drawings are to be read in conjunction with the contract documents.
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 9. The drawings are to be read in conjunction with the contract documents.
 10. The drawings are to be read in conjunction with the contract documents.

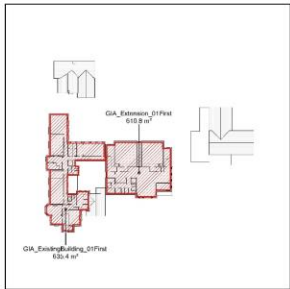


Notes
 1. All dimensions are in meters.
 2. All areas are in square meters.
 3. All rooms are to be finished to the standard of the existing building.
 4. All rooms are to be finished to the standard of the existing building.
 5. All rooms are to be finished to the standard of the existing building.
 6. All rooms are to be finished to the standard of the existing building.
 7. All rooms are to be finished to the standard of the existing building.
 8. All rooms are to be finished to the standard of the existing building.
 9. All rooms are to be finished to the standard of the existing building.
 10. All rooms are to be finished to the standard of the existing building.



Room Schedule_Extension_01First		
Number	Name	Area
01First		
03-01-01	Stair 02	10.2 m ²
03-01-03	Study Lounge	120.7 m ²
03-01-04	Stair	2.3 m ²
03-01-05	Lobby	9.3 m ²
03-01-07	Lobby	9.3 m ²
03-01-08	Stair 01	18.1 m ²
03-01-10	Lobby	8.8 m ²
03-01-12	Electrical Riser	5.8 m ²
03-01-14	Mechanical Riser	6.1 m ²
03-01-15	Classroom Store	5.5 m ²
03-01-16	WC	3.4 m ²
03-01-17	WC	3.4 m ²
03-01-18	Acad WC	5.8 m ²
03-01-19	Server Room	7.8 m ²
03-01-20	Stair	4.4 m ²
03-01-21	Circulation	24.8 m ²
03-01-22	Void	9.1 m ²
Total MA 17		303.3 m²

Room Schedule_Existing Building_01First		
Number	Name	Area
AGB-LMA-02-ZZ-M5-A-002_School_ExistingBuilding		
01First		
02-01-001	Circulation	36.9 m ²
02-01-002	Circulation	13.0 m ²
02-01-003	Circulation	14.0 m ²
02-01-004	Office	63.7 m ²
02-01-005	Office	5.0 m ²
02-01-006	Lobby	5.4 m ²
02-01-007	Acad WC	4.3 m ²
02-01-008	Lobby	5.4 m ²
02-01-009	Acad WC	4.3 m ²
02-01-010	Office	86.5 m ²
02-01-011	Circulation	10.1 m ²
02-01-012	Circulation	14.5 m ²
02-01-013	LR	3.9 m ²
02-01-014	Lobby	1.4 m ²
02-01-015	Lobby	4.0 m ²
02-01-016	Lobby	4.2 m ²
02-01-017	Lobby	2.2 m ²
02-01-018	WC	1.4 m ²
02-01-019	WC	1.4 m ²
02-01-020	Circulation	18.0 m ²
02-01-021	Stair	17.8 m ²
02-01-022	Office	64.1 m ²
02-01-023	Office	3.9 m ²
02-01-024	Board Room	98.1 m ²
02-01-025	Circulation	12.2 m ²
02-01-026	Circulation	17.3 m ²
02-01-027	OA WC	3.3 m ²
02-01-028	OA WC	3.3 m ²
02-01-029	Out of Range	31.1 m ²
02-01-030	Circulation	6.1 m ²
02-01-031	Electrical Riser	2.0 m ²
02-01-032	Stair	1.7 m ²
02-01-033	Focus Pod	6.7 m ²
02-01-034	Office	22.1 m ²
02-01-035	Focus Pod	4.0 m ²
02-01-036	Focus Pod	2.4 m ²
02-01-037	Lobby	4.5 m ²
02-01-037	WC	1.8 m ²
02-01-038	WC	1.8 m ²
02-01-039	LR	2.1 m ²
02-01-040	Stair	3.1 m ²
02-01-041	Electrical Riser	0.7 m ²
		310.4 m²

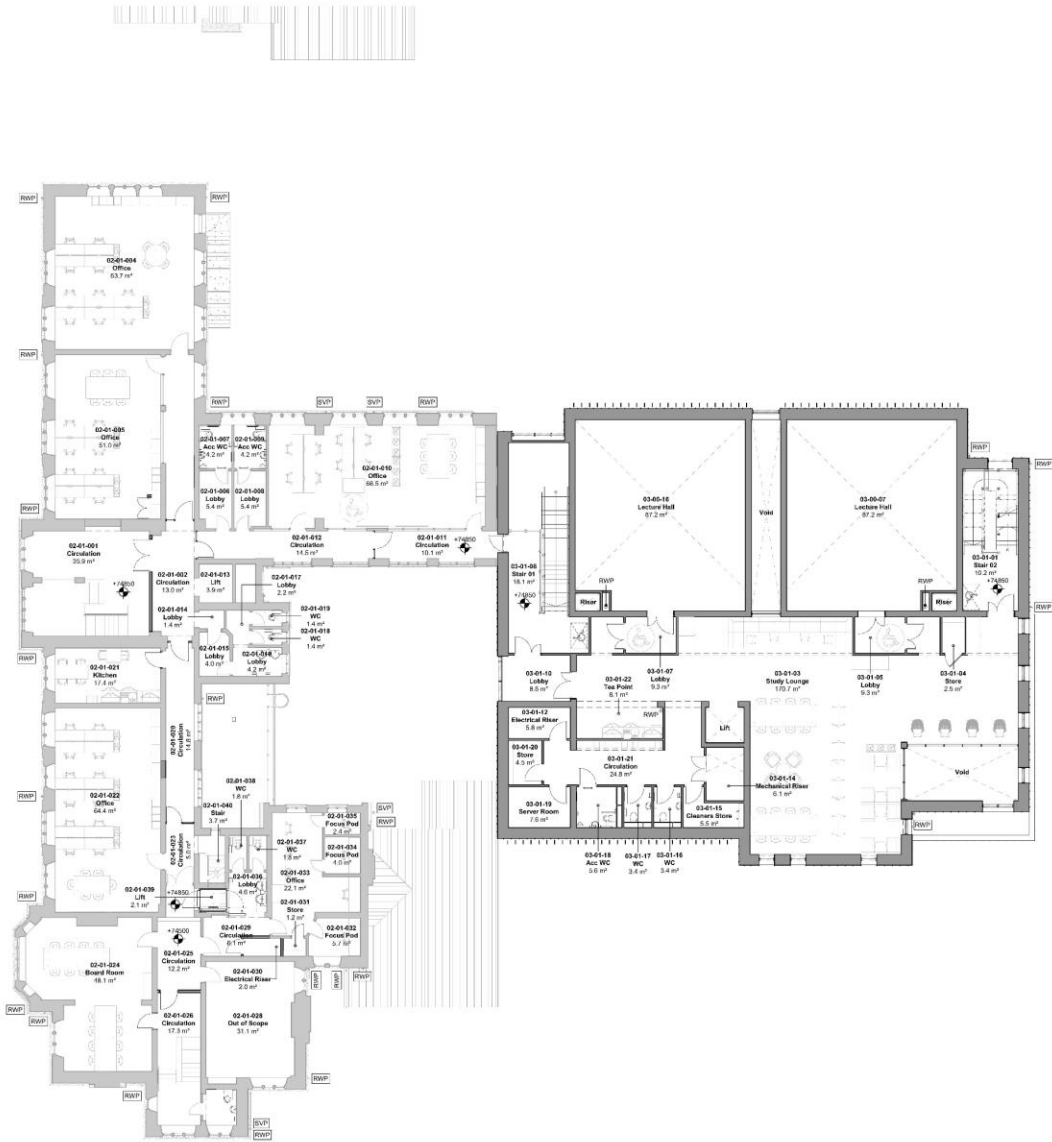


AGB LMA 02 ZZ M5 A 002
2101 P02
 [EXTENSION]
 GA_Plan_Proposed_01First

Business School
 Rangan University, Flooded
 Road, Bangalore, LMA 02 ZZ
 Status: D21 Tender
 Project Number: 2101



3, Saverly Street, Chavara CH1, 24.5
 01244 409221
 www.levellockworldwide.com



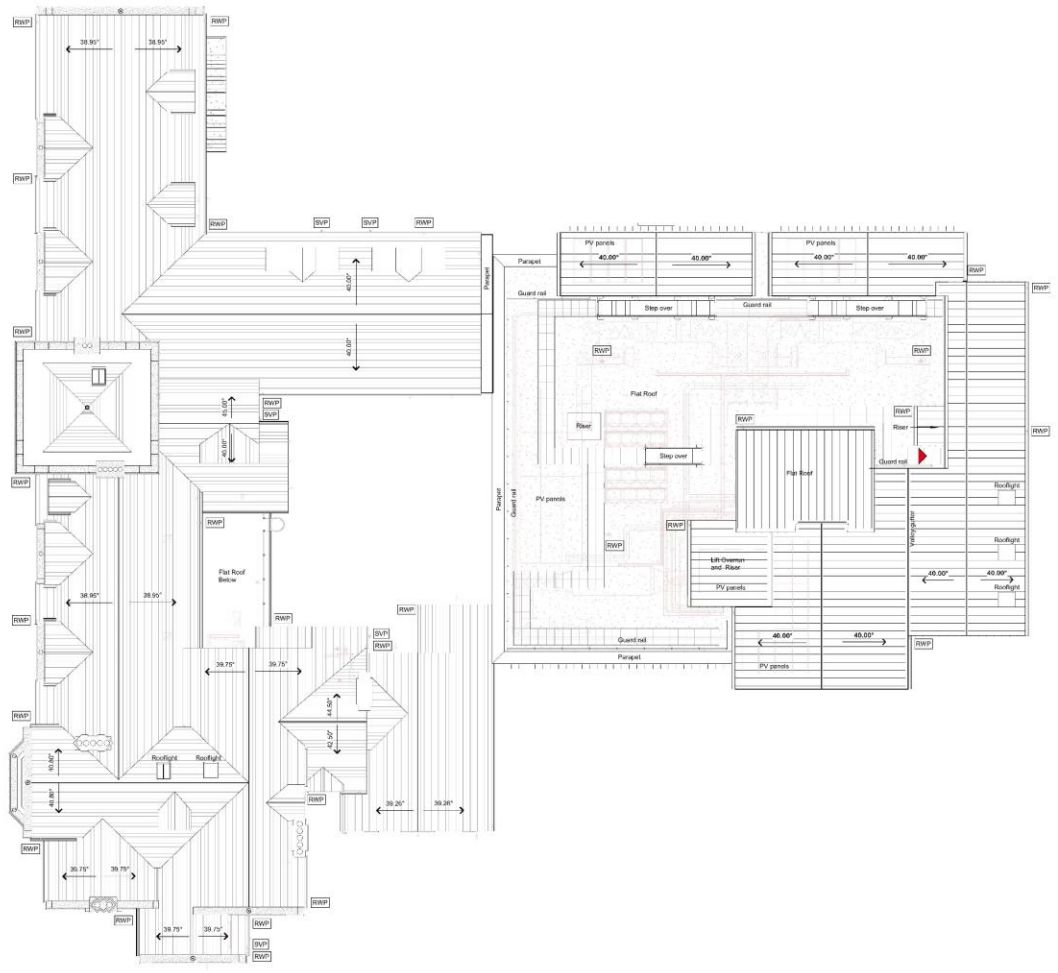
- Notes**
1. All dimensions are in feet and inches.
 2. All dimensions are to the centerline of the roof structure.
 3. All dimensions are to the centerline of the roof structure.
 4. All dimensions are to the centerline of the roof structure.
 5. All dimensions are to the centerline of the roof structure.
 6. All dimensions are to the centerline of the roof structure.
 7. All dimensions are to the centerline of the roof structure.
 8. All dimensions are to the centerline of the roof structure.
 9. All dimensions are to the centerline of the roof structure.
 10. All dimensions are to the centerline of the roof structure.



NO.	DATE	DESCRIPTION
1	11/11/2020	ISSUED FOR PERMIT
2	11/11/2020	ISSUED FOR PERMIT
3	11/11/2020	ISSUED FOR PERMIT
4	11/11/2020	ISSUED FOR PERMIT
5	11/11/2020	ISSUED FOR PERMIT
6	11/11/2020	ISSUED FOR PERMIT
7	11/11/2020	ISSUED FOR PERMIT
8	11/11/2020	ISSUED FOR PERMIT
9	11/11/2020	ISSUED FOR PERMIT
10	11/11/2020	ISSUED FOR PERMIT

ADD LMA ZZ R1 DR | A
2103 P03
[EXTENSION]
GA_Plant_Proposed_R1Roof_02

Business School
Ranger University, Florissant
Road, Denver, CO 80231
Status: D2 | For Tender
Project Number: 2103





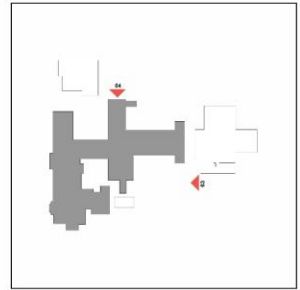
03 GA Elevations_Existing_03
Scale: 1 : 125



04 GA Elevations_Existing_04
Scale: 1 : 125

Legend | GA Elevations

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	Product Cladding		Product Cladding
	Finish Stone Natural		Finish Clear
	Element Wall Existing		Element Cladding Screens Existing
	Product Cladding		Product Cladding
	Finish Portlandish Render Natural		Finish Coloured
	Element Wall Existing		Element Cladding Screens Existing
	Product Cladding		Product Cladding
	Finish Tiles Grey		Finish Pattern
	Element Roof Existing		Element Vents Existing
	Product Pitched Roof		Product Louvre
	Finish Slates Grey		Finish Metal White
	Element Facade Features, Coping & Cills Existing		
	Product Stone		
	Finish Natural Bioge		
	Element Chimney Existing		
	Product Product Name		
	Finish Brick Colour		



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Notes:

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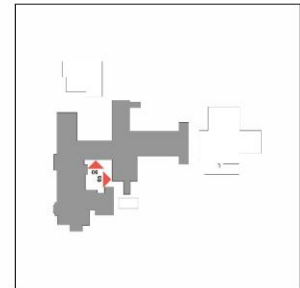
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Scale: 1 : 125



06 GA_Elevations_Existing_06
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Legend | GA Elevations

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1:25 @ A1

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7. The architect is not responsible for any delays or cost overruns in the project.
8. The architect is not responsible for any legal or other actions taken by the client or any third party.
9. The architect is not responsible for any environmental or other impacts of the building.
10. The architect is not responsible for any safety or health issues arising from the building.





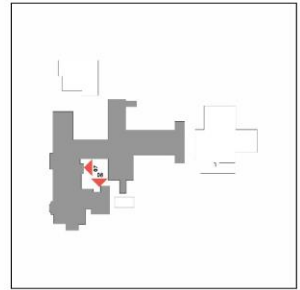
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08 GA_Elevations_Existing_08
Scale: 1 : 125

Legend | GA Elevations

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	Product Cladding		Product Glazing
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	Product Cladding		Product Pattern
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	Element Roof Existing		Product Glazing
	Product Pitched Roof		Product Louvre
	Finish Slates Grey		Finish Metal White
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	Product Stone Natural Bioge		
	Finish Stone Natural Bioge		
	Element Chimney Existing		
	Product Product Name		
	Finish Finish Colour		



0 1.5 3.0 6.0
1:25 @ A1

Notes:

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10. The architect is not responsible for the accuracy of the information provided by the client.

ADD | LMA 02 22 DR A
2203 P04
[EXISTING BUILDING]
GA_Elevations_Existing_04

New Business School
Ranger University, Fildes Road
Rangiora, Canterbury, NZ

Status: D2 | For Tender
Project Number: 2330

LM LEVELLOCK | FIDELIS
LEVELLOCK.COM

3 Searley Street, Christchurch, NZ 8011
03 324 4002
www.levellockfidelis.com



01 GA_Elevation_Proposed_01
Scale: 1 : 125



02 GA_Elevation_Proposed_02
Scale: 1 : 125

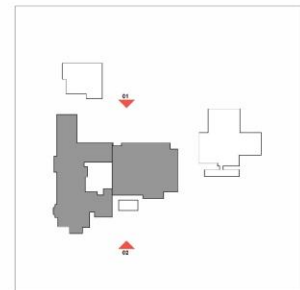
Legend | GA Elevations

Existing Building

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Element Chimney Existing Product Masonry Brickwork Finish Flisan Red	Element External Doors Existing Doors Retained Product External Doors Restored to Conservation Architect Specification Finish Red
	Element External Doors New Product Hardwood Painted to match existing doors Finish Hardwood Painted to match existing doors

Extension Building

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Element Wall Product Finish Finish Grey	Element Facade Product Aluminium Feature Fins Finish RAL 7001 Traffic Grey B or closest to match VMZinc Cladding
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Element Curtain Wall Product CPC Aluminium Louvre Panel Finish RAL 7043 Traffic Grey B Satin Finish	Element Rainwater Goods Product CPC Aluminium Finish RAL 7043 Traffic Grey B or closest to match VMZinc Cladding
Element Facade Signs Product Signage Zone Finish To Contractor's choice and Client's Requirements	Element Cladding Cills Product CPC Aluminium Finish RAL 7043 Traffic Grey B or closest to match VMZinc Cladding



















05 GA_Elevation_Proposed_05
Scale: 1 : 125



06 GA_Elevation_Proposed_06
Scale: 1 : 125

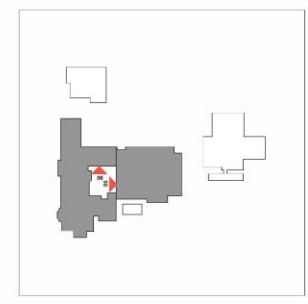
Legend | GA Elevations

Existing Building

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	 Element External Doors Existing Doors Retained Product External Doors Restored to Conservation Architect Specification Finish Red
	 Element External Doors New Product External Doors Finish Hardware Painted to match existing doors

Extension Building

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 Element Wall Product Masonry Brickwork Finish Grey	 Element Façade Product Aluminium Feature Fins Finish Red RAL 7005 Traffic Grey B or closest to match VM2nc Cladding
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 Element Curtain Wall Product PVC Aluminium Louvre Panel Finish RAL 7043 Traffic Grey B Satin Finish	 Element Rainwater Goods Product Gutters Downpipes Finish Red RAL 7043 Traffic Grey B or closest to match VM2nc Cladding
 Element Façade Signs Product Signage Zone Finish To Contractor's choice and Client's Requirements	 Element Flashing Capping Cills Product PVC Aluminium Finish Red RAL 8002 Signalbrun or closest to match VM2nc Cladding


















07 GA_Elevation_Proposed_07
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08 GA_Elevation_Proposed_08
Scale: 1 : 125

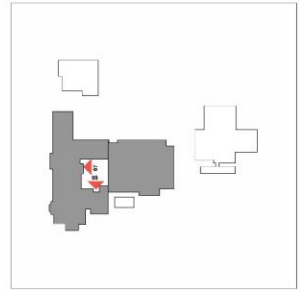
Legend | GA Elevations

Existing Building

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 Element Wall Existing Product Cladding Restored to Conservation Architect Specification Finish Thin Grey	 Element Glazing Existing Product Louver Glass Restored to Conservation Architect Specification Finish Pattern
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 Element Facade Features, Coping & Cills Existing Product Stone Restored to Conservation Architect Specification Finish Natural Red	 Element Rainwater Goods Existing Product Rainwater Goods Restored to Conservation Architect Specification Finish Red
 Element Chimney Existing Product Masonry Brickwork Finish Fluan Red	 Element External Doors Existing Doors Retained Product External Doors Restored to Conservation Architect Specification Finish Red
	 Element External Doors New Product Timber Painted to match existing doors Finish

Extension Building

 Element Wall Product Masonry Brickwork Finish Red	 Element Facade Product Aluminium Feature Fins Finish Red RAL 8002 Signalbrun or closest to match VM2nc Cladding
 Element Wall Product Masonry Brickwork Finish Grey	 Element Facade Product Aluminium Feature Fins Finish Red RAL 7091 Traffic Grey B or closest to match VM2nc Cladding
 Element Wall Product VM2nc Standing Seam Wall / Roof System Finish FIMEN TO Ranger Red	 Element Glazing Screens Product Cladding Finish Clear
 Element Wall Product VM2nc Standing Seam Wall / Roof System Finish FAL 7043 Traffic Grey B Sateh Finish	 Element Rainwater Goods Product Gutters Downpipes Finish Red RAL 8002 Signalbrun or closest to match VM2nc Cladding
 Element Curtain Wall Product CPC Aluminium Door & Window Frames Finish RAL 7043 Traffic Grey B Sateh Finish	 Element Flashing Coping Cills Product PVC Aluminium Finish Red RAL 8002 Signalbrun or closest to match VM2nc Cladding
 Element Curtain Wall Product CPC Aluminium Louver Panel Finish RAL 7043 Traffic Grey B Sateh Finish	 Element Rainwater Goods Product Gutters Louverlight Finish Red RAL 7043 Traffic Grey B or closest to match VM2nc Cladding
 Element Facade Signs Product Signage Zone Finish To Contractor's choice and Client's Requirements	 Element Flashing Coping Cills Product CPC Aluminium Finish Red RAL 7091 Traffic Grey B or closest to match VM2nc Cladding





09 GA_Elevation_Proposed_09
Scale: 1 : 125



10 GA_Elevation_Proposed_10
Scale: 1 : 125



11 GA_Elevation_Proposed_11
Scale: 1 : 125



12 GA_Elevation_Proposed_12
Scale: 1 : 125

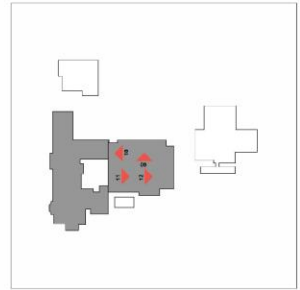
Legend | GA Elevations

Existing Building

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Element Façade Features, Coping & Cills Existing Product Stone Restored to Conservation Architect Specification Finish Natural Red	Element Windows Existing Product Louver Finish Metal White
Element Chimney Existing Product Masonry Brickwork Finish Fluted Red	Element Rainwater Goods Existing Product Rainwater Goods Restored to Conservation Architect Specification Finish Red
	Element External Doors Existing Product External Doors Restored to Conservation Architect Specification Finish Red
	Element External Doors New Product External Doors Finish Hardware Paired to match existing doors

Extension Building

Element Wall Product Masonry Brickwork Finish Red	Element Glazing Existing Product Cladding Restored to Conservation Architect Specification Finish Clear
Element Wall Product Masonry Brickwork Finish Grey	Element Glazing Existing Product Louver Glass Restored to Conservation Architect Specification Finish Pattern
Element Wall Product VMZINC Standing Seam Wall / Roof System Finish PIGMENTO Ranger Red	Element Windows Existing Product Louver Finish Metal White
Element Wall Product VMZINC Standing Seam Wall / Roof System Finish PIGMENTO Grey	Element Rainwater Goods Existing Product Rainwater Goods Restored to Conservation Architect Specification Finish Red
Element Curtain Wall Product RVC Aluminium Door & Window Frames Finish RAL 7043 Traffic Grey B Satin Finish	Element External Doors Existing Product External Doors Restored to Conservation Architect Specification Finish Red
Element Curtain Wall Product RVC Aluminium Louver Panel Finish RAL 7043 Traffic Grey B Satin Finish	Element External Doors New Product External Doors Finish Hardware Paired to match existing doors
Element Façade Signs Product Signage Zone Finish To Contractor's choice and Client's Requirements	
Element Façade Product Aluminium Façade Fin Finish Red RAL 8002 Signalbrun or closest to match VMZinc Cladding	Element Glazing Screens Product Cladding Finish Clear
Element Façade Product Aluminium Façade Fin Finish Red RAL 7043 Traffic Grey B or closest to match VMZinc Cladding	Element Rainwater Goods Product Gutters Downpipes Finish Red RAL 8002 Signalbrun or closest to match VMZinc Cladding
Element Façade Cladding Cills Product RVC Aluminium Finish Red RAL 8002 Signalbrun or closest to match VMZinc Cladding	Element Rainwater Goods Product RVC Aluminium Finish Red RAL 7043 Traffic Grey B or closest to match VMZinc Cladding
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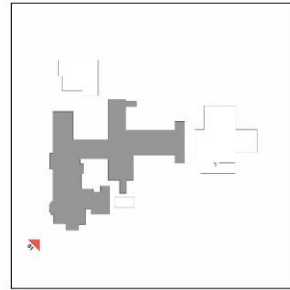




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- Notes:
1. All dimensions are in feet and inches.
 2. All elevations are shown in perspective.
 3. All materials are to be as shown in the elevations.
 4. All windows are to be as shown in the elevations.
 5. All doors are to be as shown in the elevations.
 6. All roof pitches are to be as shown in the elevations.
 7. All roof materials are to be as shown in the elevations.
 8. All roof structures are to be as shown in the elevations.
 9. All roof heights are to be as shown in the elevations.
 10. All roof areas are to be as shown in the elevations.



Page 87

01 GA_Axonometric_Existing_01
Scale:

1/1 1/1 1/1 1/1 1/1 1/1 1/1 1/1 1/1 1/1

ADD LMA 02 Z2 DR A
2500 P02
(EXISTING BUILDING)

GA_Axonometric_Existing_01

New Business School
Ranger University, Philadelphia
Penn. George L. S. S. S.

Status: D2 (For Tender)

Project Number: 2330



3 Siskey Street Chester CH1 3LS
01244 404221
www.levisonwoods.com



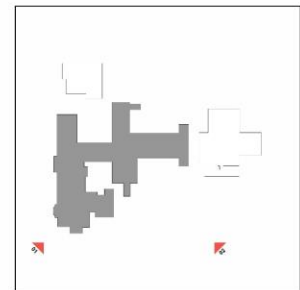
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02 GA_Perspective_Existing_02

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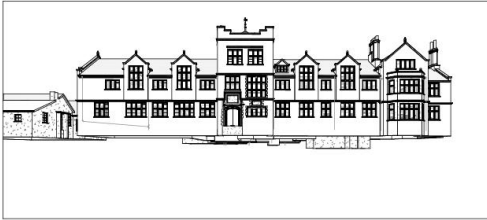
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2550 P01
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New Business School
 Ranger University, Philadelphia
 Broad Street, L107 278

Status: D2 | Tender
 Project Number: 2330



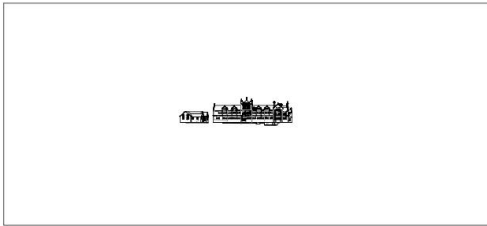
3 Searley Street Chester CH1 3LS
 01244 604221
 www.levelcofford.com



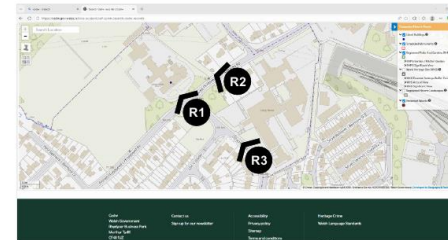
Perspective R1 Image taken from 68.6m ASL



Perspective R2 Image taken from 68.6m ASL



Perspective R3 Image taken from 68.1m ASL



Map indicating positions of each perspective above.

Notes:

- Figural dimensions are to be used in all cases.
- Dimensions should not be scaled from drawing.
- All existing dimensions should be checked on site before commencement of the works.
- Any discrepancies in dimensions should be clarified with the Architect prior to commencement of the works.
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- This drawing is to be used in conjunction with all other relevant LMA drawings, and the drawings and information produced by other professionals / consultants involved in the project.
- Please note that the use of any quantification data is done so at the user's own risk.
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Rev.	Date	First Issue of Drawing	PAF	PAF
		Revision Description	Drawn	Checked
P01	26/03/24	First Issue of Drawing	PAF	PAF

AGB | LMA | ZZ | ZZ | DR | A
9008 | P01
 [EXISTING BUILDING]

Sketch_Perspectives_
 Proposed01

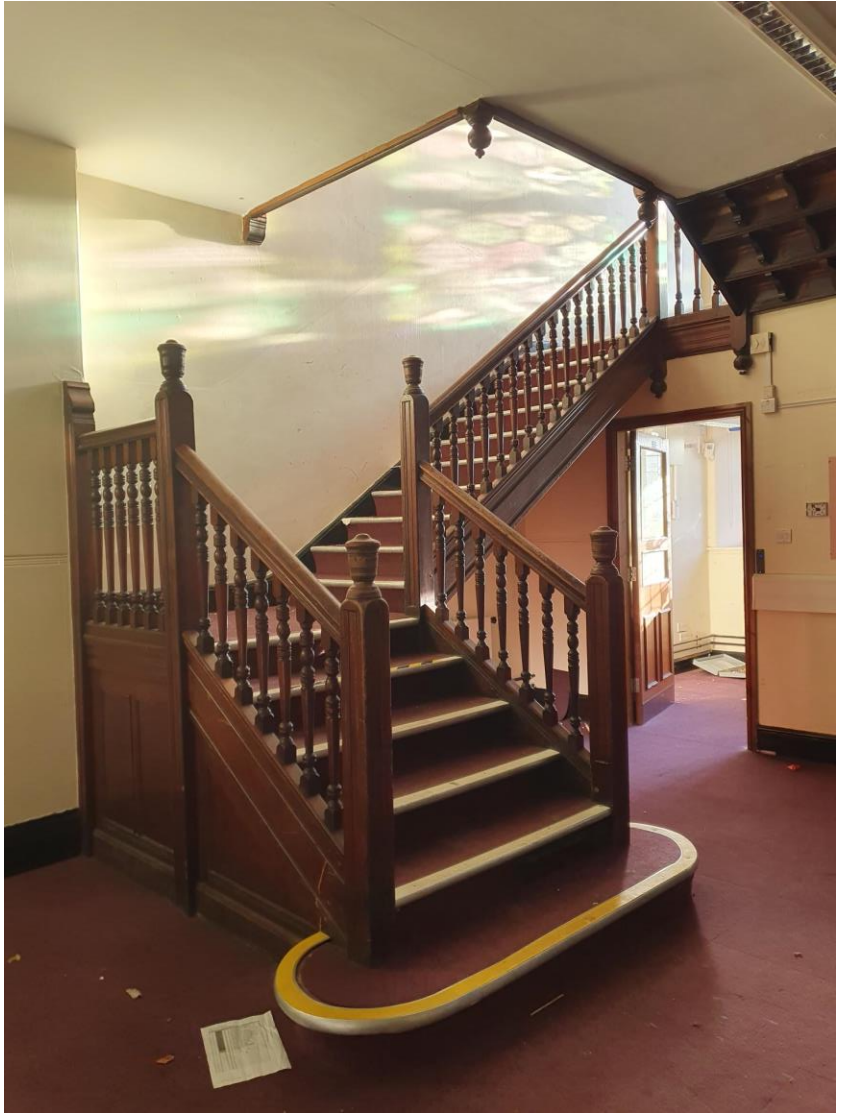
New Business School
Bangor University, Ffriddoedd
Road, Bangor LL57 2TS

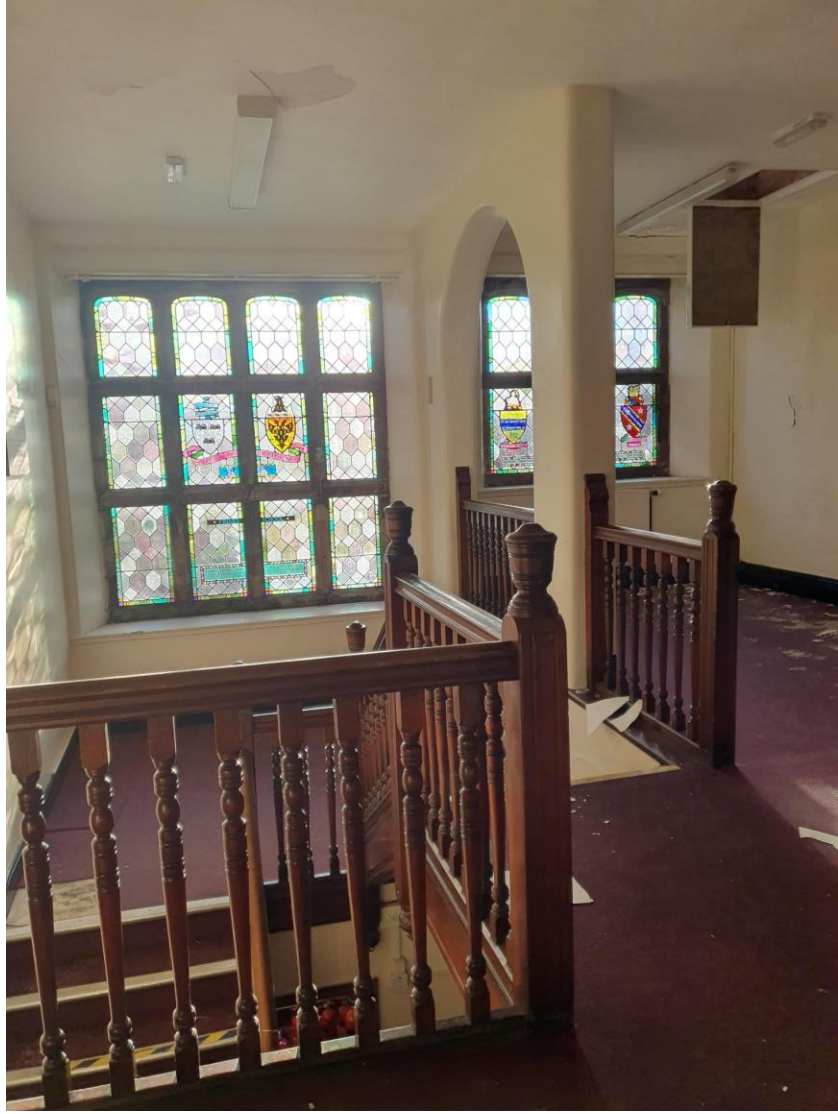
Status: A3 | Planning

Project Number: 2535



3 Stanley Street Chester CH1 2LS
 01244 404321
 www.lovelockmitchell.com







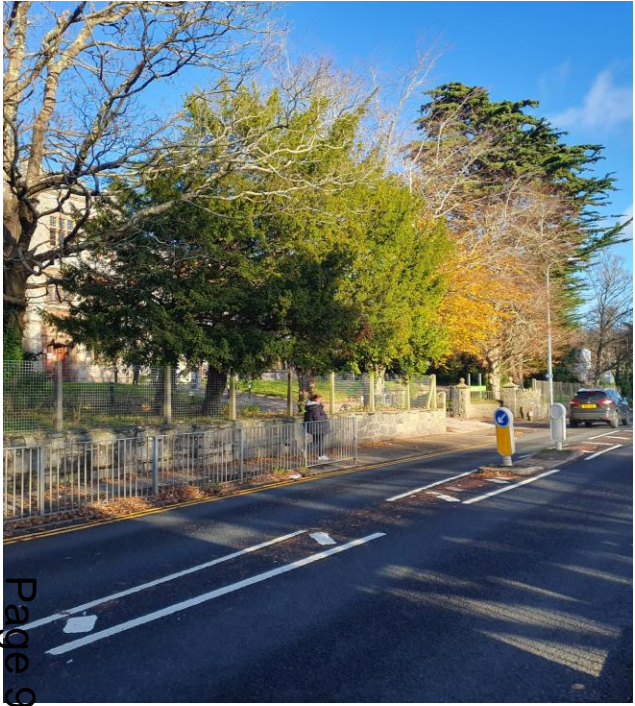












PLANNING COMMITTEE	DATE: 27/04/2026
REPORT OF THE ASSISTANT HEAD OF DEPARTMENT	

Number: 3

Application Number: C25/0706/11/CR

Date Registered: 07/10/2025

Application Type: Listed Building

Community: Bangor

Ward: Glyder

Proposal: Demolition of rear extensions and erection of a new two-storey extension along with internal alterations to the main building

Location: Coleg Menai, Friars Building, Coleg Menai Ffriddoedd Road, Bangor, Gwynedd, LL57 2TS

Summary of the Recommendation: TO APPROVE WITH CONDITIONS

PLANNING COMMITTEE	DATE: 27/04/2026
REPORT OF THE ASSISTANT HEAD OF DEPARTMENT	

1. Description:

- 1.1 Listed building application to demolish rear extensions and erect a new two-storey extension along with internal alterations to the main building.
- 1.2 The main building, which is visible from the road, is a very impressive two-storey building made of stone with stone windows and built around 1899. This building replaced a former school on other sites within the city, and the original site was on the site of a monastery, which is the background to the school's name, "Friars", as it is known today. Evidence exists which shows that the school evolved and developed over time, and by the 1940s this was the building that existed. Two other separate buildings form part of the site, but these do not form part of this application.
- 1.3 The site was still in use as a school until 1999 when the school was relocated to a new site, and Coleg Menai moved to the site until March 2025 after which the site stood vacant. The University has purchased the site in order to relocate the Business School, and the land to the north and east of the site is already part of the University campus.
- 1.4 The proposal involves demolishing the two-storey rear section, the 1930s section and erecting a new modern two-storey extension to enable teaching rooms to be brought up to modern standards. The plan is to locate the extension on the same footprint as the section to be demolished but rather than being in a cruciform shape it would be squarer in shape and measure approximately 28m by 26m with a height of 12.5m.
- 1.5 The extension would be a mix of light grey/red brick and red aluminium cladding. The front elevation, which is the southern elevation facing Ffriddoedd Road, will remain as it is, as this is the original part and no change is proposed here. On the western side of the main building, it is proposed to remove the existing car port and also remove mechanical ventilation equipment from the roof and install new vents. The new extension would connect to the main building and would be of a modern design with two pitched roofs mirroring the ridge of the main building. The lower section would be made of red brick and the upper level covered with red zinc cladding. Glass panes up to the higher level will connect the extension to the main building, with long glass panes at the centre and end of the extension.
- 1.6 A large part of the main building will still be visible on the rear (northern) elevation, along with the new modern section. This section of the extension would measure approximately 26m with a height of 12.5m, and again the materials will be a combination of red brick and red aluminium cladding. Parts of the roof will be flat (to accommodate the ventilation mechanism and equipment) and other parts will have a pitched roof. It is proposed to have glass panes along half of the rear elevation on the lower level, with 5 on the first floor and 3 windows within the roof. Rainwater goods have been incorporated within the design to be covered, but with several rainwater pipes running down the back.
- 1.7 On the eastern side (facing Reichel Hall) the extension would again reflect the main building with pitched roof sections, but it is also proposed to install fins which will mirror the pitched roof but will again cover the mechanical equipment. Solar panels are planned to be installed on the new extension in concealed places.
- 1.8 Internally within the main building on the first floor, the alterations involve the removal of a lot of modern works that have been added over time. When walking into the building through the main entrance the foyer can be seen and it is planned to create a new opening to the storage area next door and close an existing opening. Within the foyer there are double doors leading to the

PLANNING COMMITTEE	DATE: 27/04/2026
REPORT OF THE ASSISTANT HEAD OF DEPARTMENT	

left and into the first large, long room, matching a similar room on the other side of the building. It is planned to remove unsuitable work that has been done to the building in the past, including the removal of the false ceiling, repairs to the windows along with work to remove modern plaster from the walls. Several original doors also still exist, and the intention is to preserve and reuse these. Leading out of this section towards the rear of the site, where the part to be demolished is located, is a long corridor connecting to the old kitchen which is to be converted into two offices by installing a new partition wall, which would lead directly into the new extension, to the foyer. In the end part of the main building where the headmaster's house is located, there is one fairly large room separating the long room, and it is proposed to demolish this wall but to keep the small parts of the wall on both sides. The rest of the headmaster's house will remain as it is, as a mixture of teaching rooms and offices. It is planned to create one new opening out of the rear of this section in order to have a new exit door where there is no existing opening, but it is planned to reuse the door from the extension that is to be demolished here.

- 1.9 Within the new extension there would be two large lecture halls, a general teaching room, toilets and seating areas along with the corridors, stairs and external doors. It is also proposed to install a new lift here. The second floor of the extension will contain the space for the two lecture halls along with seating areas, toilets, plant rooms and stores. This will then connect back to the main building, down the existing corridor past a large office which is at present a kitchen. The first floor on the main building would remain mostly as it is but with minor modifications by removing some internal partition walls and erecting others. The main foyer where the main staircase is situated is currently all open-plan and it is proposed to install a fire safety screen here. It is proposed to install the same type of screen on the second staircase within the headmaster's house. There is no proposed such work to the second floor.
- 1.10 The proposal involves an element of reusing some materials from the extension to be demolished, such as the iron handrail which will be relocated within the curtilage as a feature. However, the proposal also includes an element of significant restoration within the main building that has been deteriorating significantly over time. The proposal also includes landscaping works and works to the wider site, but these will form part of the full planning application.
- 1.11 The site lies within the City of Bangor but outside the central area. There are University sites near this site and adjacent residential dwellings. The building is a grade II listed building.

2. Relevant Policies:

- 2.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 and paragraph 2.1.2 of Planning Policy Wales emphasise that planning decisions should be in accordance with the Development Plan, unless material considerations indicate otherwise. Planning considerations include National Planning Policy and the Local Development Plan.
- 2.2 The Well-being of Future Generations (Wales) Act 2015 places a duty on the Council to take reasonable steps in exercising its functions to meet the 7 well-being goals within the Act. This report has been prepared in consideration of the Council's duty and the 'sustainable development principle', as set out in the 2015 Act. In reaching the recommendation, the Council has sought to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs.

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2.3 Anglesey and Gwynedd Joint Local Development Plan 2011-26, adopted 31 July 2017

PS20: Preserving and where appropriate enhancing heritage assets

2.4 National Policies:

Future Wales: The National Plan 2040

Planning Policy Wales (Edition 12 - February 2024)

Technical Advice Note (TAN)

TAN24: The Historic Environment.

Managing Changes to Listed Buildings in Wales

3. Relevant Planning History:

3.1 C98A/0007/11/CR use of the building for educational purposes, two extensions, fire stairs, additional car park and demolition of some internal walls – Permitted 20/02/1998

C98A/0017/11/LL use of the building for educational purposes, two extensions, fire stairs, additional car park and demolition of some internal walls – Permitted 14/02/1998

C99A/0035/11/CR installation of two air handling units and associated duct works – Permitted 19/03/1999

C99A/0301/11/CR I) reduce the size of two air handling units for which listed building consent was granted under reference C99A/0035/11/CR II) provide an additional air handling unit III) provide louvres in the existing dormer IV) demolish a chimney stack and rebuild it in the same form to contain a ventilation flue V) provide a handrail along the fire escape route on the first floor – Permitted 21/08/1999

C99A/0560/11/HY Sign – Permitted 05/01/2000

C99A/0556/11/CR continued use of the building for educational purposes: internal and external alterations; louvres in existing dormers, ventilation grilles and doors (part 2) – Permitted 06/01/2000

C99A/0557/11/LL continued use of the building for educational purposes; internal and external alterations; louvres in existing dormers, ventilation grilles and doors (part 2) – Permitted 01/12/1999

C99A/0660/11/HY signs (revised application) – Permitted 14/02/2000

C00A/0091/11/LL siting of temporary building for 6 months – Permitted 29/03/2000

C00A/0621/11/CR variation of condition on consent number C99A/0301/11/CR to allow change of colour of ventilation units – Permitted 19/01/2001

C06A/0481/11/CR external alterations to roof – Permitted 07/09/2006

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C09A/0483/11/LL install a temporary portacabin at the rear of the building and create an opening to connect it to the existing building – Permitted 03/11/2009

C09A/0466/11/CR install a temporary portacabin at the rear of the building and create an opening to connect it to the existing building – Permitted 11/01/2010

C09A/0612/11/CR installation of internal platform lift (for carrying goods) – Permitted 29/01/2010

C12/1275/11/CR Construction of canopy over a parking space at the side of a building – Permitted 12/12/2012

4. Consultations:

Community/Town Council: Not received

British Archaeological Council: Not received

Ancient Monuments Society: Not received

The Twentieth Century Society: Not received

The Georgian Group: Not received

The Society for the Protection of Ancient Buildings: Not received

The Victorian Society: The Victorian Society raises concerns regarding the application for Coleg Menai (former Friar's School), Bangor (C25/0706/11/CR). The former Friar's School is a Grade II-listed building, meaning that it is recognised for its national significance and special interest. The school is defined by its cohesive Tudor Revival architecture and is a good example of a Victorian school, following a redesign of the school buildings by the State after the Welsh Intermediate Education Act 1889. The building was designed in 1899 by Douglas and Minshall and officially opened in 1900.

This application is for demolition and redevelopment at the rear of the building, which will result in the permanent loss of C20th material. We highlight that amongst the buildings to be lost is an apparent gymnasium (not to be confused with the later C20th assembly hall), potentially dating to c.1910; this extension is

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both a crucial aspect of the building's significance, but also deliberately cohesive to the front range's Tudor Revival architecture.

The extension's materiality, architecture and character all suggest that it was designed to be actively cohesive and sympathetic to the main range of 1900 and would appear to be closer to this range in age than the later C20th extensions. This extension appears to be first recorded on the 1913 OS revision map of Caernarvonshire (Caernarvonshire VI.12 Revised: 1913, Published: 1914): <https://maps.nls.uk/view/135191851#zoom=2.0&lat=6285&lon=8694&layers=BT>

We raise concerns that the application appears to have not assessed this extension adequately and may have misunderstood the provenance of the gym. We recommend a reassessment of this specific aspect of the building, with the significance of its historic material and relationship with the front range being reconsidered.

The loss of the mid C20th extensions is outside of the remit of the Society, so we are happy to defer to the 20 Century Society and your own Conservation Officers on this.

Finally, we wish to raise the importance of consulting the National Amenity Societies on applications that involve the full or partial demolition of listed buildings. The easiest way to do this is to notify the Joint Committee of National Amenity Societies via the email: casework@jcnas.org.uk For more information on how the Victorian Society works, and when to consult us, please see our 'About Us' pages on our website: <https://www.victoriansociety.org.uk/about-us/how-we-work/>

Senior Conservation Officer: No consultation – The Conservation Unit has dealt with this application, and therefore the Conversation Unit's professional opinion has been included in the report and is therefore not reported separately.

Royal Commission on the Ancient and Historic Monuments of Wales: Thank you for consulting us on the plans for Coleg Menai at Bangor, application number C25/0706/11/CR. The remit of the Royal Commission permits us to comment only on the historical significance on the building and the adequacy or otherwise of the record.

The present Friars building of Coleg Menai dates from 1899 (opened 1900) and was built by Douglas and Minshull, architects of Chester, who were winners of a design competition. The building is constructed in the Tudor style in snecked rubble with freestone dressings, including a stringcourse, eaves band and gable parapets with finials, and slate roof. The main two storey front is asymmetrical with a projecting central tower with a pyramidal roof, and an attached headmasters house to the right. Known as the Friars School, the building first appears on OS 25-inch Second Edition (1900).

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The proposals concern the 1940s extension to the rear, which is two storeys in height, in cruciform plan, and has to an extent reproduced the Tudor details of the original building although not all of the extension has received this treatment. Nevertheless, it provides an example of how architects responded to an original building and should not be discarded altogether of any heritage value. We welcome the heritage impact assessment submitted as part of the application in addition to the drawings of plans and elevations. However, we would recommend also as a condition of consent, that further mitigation measures are carried out in the form of a Level 2 photographic recording in accordance with the criteria outlined on p.26 of Historic England's Understanding Historic Buildings: A Guide to Good Recording Practice (2016). The photographic record should not be embedded in a PDF but rather exported individually as TIFF files with 300dpi, with copies of the resulting survey deposited with the National Monuments Record of Wales in Aberystwyth.

HENEB: Propose standard archaeological conditions.

Public Consultation: A notice was posted on site and in the press, and nearby residents were informed. The advertising period has expired and correspondence was received providing comments based on the following:

- Support the continued use of the building for educational purposes
- The heritage statement is poor
- Reuse of building materials
- It's not just the front of the building that is listed

5. Assessment of the relevant planning considerations:

The impact of the development on the setting and character of the Listed Building

5.1 Paragraph 5.13 of Technical Advice Note (TAN) 24: The Historic Environment, states that Local Planning Authorities should consider the following matters:

- The importance and grade of the building and its intrinsic architectural or historic interest
- The physical features of the building which justify its listing and contribute to its significance, including any features of importance such as the interior, which may have come to light after the building's inclusion on the list
- The contribution of curtilage and location to the significance of the building, as well as its contribution to its local streetscene
- The impact of the proposed works on the significance of the building

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- The extent to which the proposed works would bring substantial community benefits, for example, by contributing to the area's economy or the enhancement of its local environment
- 5.2 The application relates to works to demolish rear extensions and erect a new two-storey extension together with internal alterations to the main building. The building, a former school, is a very impressive two-storey one on the side of Ffriddoedd Road with several associated buildings at the rear, car parking spaces and a large former green school pitch. The separate buildings and the field are not subject to any alteration with this application. Parking and landscaping matters form part of the associated planning application.
- 5.3 As noted above, the main building, which is visible from the road, is a very impressive one made of stone with stone windows and was built around 1899 and opened in 1900. There is some doubt as to the age of the rear sections, which is the part to be demolished, and this has arisen within correspondence on the application. Because of this, more information has been commissioned and submitted in order to assess more on the rear sections, their age and importance. From the "Heneb Gwynedd Archaeology Report 1840" there is evidence that within old maps of the area from 1911, the south-westerly section (i.e. the building known as the old gymnasium) was in the process of being constructed and was a separate building to the main front building seen today. By the time the 1914 map was published, the gymnasium had been completed and had a roof. Interior plans of the school in 1935 show this building in use as a gymnasium with a toilet building added to the north but it is still a separate building. Aerial photographs from 1945 show that this building was included and added to the rear of what is now the main building, with a second floor built and the present hall. It therefore appears that this rear section is quite contemporaneous with the main building, and the rear has developed over the years.
- 5.4 However, due to a significant lack of maintenance over time, this section is now in a poor condition, and the size and space of the rooms are not suitable for the University's requirements as a lecture hall. An extensive record has been made of the building, and the rear sections are important to the development and history of the site, but it is not possible to convert these to the required lecturing use and it is considered that their demolition would protect the long-term future of the site. As a compromise, discussions have already taken place in terms of reusing the materials from the section to be demolished, but it is also felt that retaining the gymnasium footprint on the floor within the new extension would be a consideration to preserve the evidence of the location, by placing a different-coloured section within the flooring but also photographs on the walls. It is felt that it would be appropriate to impose a condition on this as part of the permission.
- 5.5 In terms of the internal alterations, it is felt that much of the work is acceptable through the removal of unsuitable work such as the false ceilings and also treatment to the front windows which are striking stone windows that are to be restored. Some alterations have taken place to some of the front windows over time, but evidence exists showing the historic design of the windows and it is intended to use this for their restoration. It is proposed to reuse some doors from the rear section within the new opening at the rear of the headmaster's house, which is to be welcomed, but also with the parquet floor from the rear hall, and again it is felt that imposing a condition agreeing to the reuse of these features would be appropriate in this case.
- 5.6 The new extension would be a mixture of light grey/red brick and red aluminium and zinc cladding. On the western side of the main building, it is proposed to remove the existing car port and also remove mechanical ventilation equipment from the roof and install new vents. The new extension would connect to the main building and would be mainly square in shape and measure

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26m by 28m with a height of 12.5m, and would be of a modern design with two pitched roofs mirroring the pitched roof of the main building. The lower section would be made of red brick and the upper level covered with red zinc cladding. Glass panes up to the higher level will connect the extension to the main building, with long glass panes at the centre and end of the extension.

- 5.7 A large part of the main building will still be visible on the rear (northern) elevation, along with the new modern section. This part of the extension would again be of materials that are a combination of red brick and red aluminium cladding. As above, parts of the roof will be flat (to accommodate the ventilation mechanism and equipment) and other parts will have a pitched roof. It is proposed to have glass panes along half of the rear elevation on the lower level, with 5 on the first floor and 3 windows within the roof. Rainwater goods have been incorporated within the design to be covered, but with several rainwater pipes running down the back.
- 5.8 On the eastern side (facing Reichel Hall) the extension would again reflect the main building with pitched roof sections, but it is also proposed to install fins which will mirror the pitched roof but will again cover the mechanical equipment. Solar panels are intended to be installed on the new extension but will be located in concealed places, but it is felt that it would be reasonable to impose a condition to agree in advance on the exact type of panels and colour.
- 5.9 This extension is considered to be modern and stands out distinctly from the main building, but the design uses the existing features of the main building in terms of materials and colour principally, but also in terms of the pitched shape of the sides which creates a parapet to enable the flat roof to be covered. It is not considered that the extension would detract from the appearance or importance of the main building but would instead show the evolution of the building over time, as has happened with the rear extensions to be demolished.
- 5.10 The plan from the front elevation shows that parts of the new extension are visible. Having received additional information looking into this, and also bearing in mind the nature of the land rising from the main road, it is not considered that the extension would be visible from the front. It is inevitable that it would be visible from the side where the playing fields are and it is considered that this would be acceptable in terms of viewing the building as a whole, but the relevant plans require an explanation.
- 5.11 It is considered that the proposal would be a significant modern addition, but also the future of the property must be considered as it stands vacant and deteriorates. The loss of the rear extensions will be a loss of historic fabric, but this has been explained and justified within the application in terms of returning the building to long-term use, and the historical record that has already been made and also a condition for the reuse of the materials would retain part of this extension. The proposal is considered to be a high-quality design but also sensitive to the listed building by restoring the main building, and in terms of the internal alteration works by doing the minimum while respecting the original layout. It is considered that by keeping the new modern extension to the rear, the main building at the front will continue to be the main focus. It is therefore felt that the proposal satisfies the requirements of policy PS20 of the LDP as well as conservation guidance, and is acceptable for approval in accordance with the following noted conditions.

6. Conclusions:

- 6.1 In accordance with the above assessment, we consider that the proposal has been fully justified and that it also respects the building by keeping the modern extension to the rear and keeping the interior alteration works to a minimum, but also retaining and reusing features within the

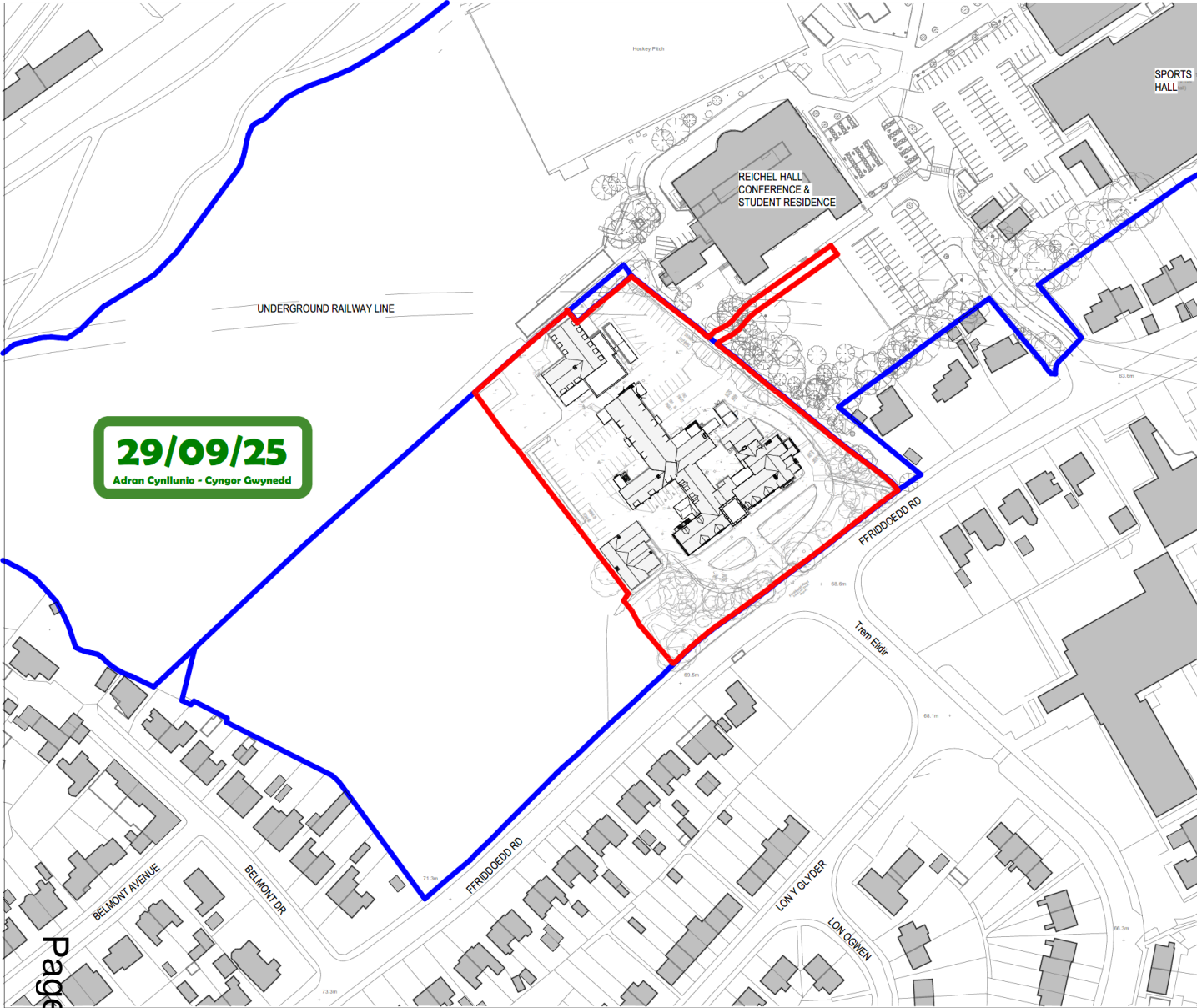
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building. It is the Senior Conservation Officer who has prepared the report for this application with delegated powers from Cadw, and therefore there is no need to refer the application to Cadw should the application be approved.

7. Recommendation:

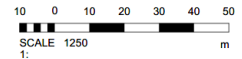
7.1 To approve the application subject to the following conditions:

1. 5 years
2. In accordance with the plans
3. Heneb conditions
4. Details of any secondary glazing to be agreed beforehand
5. Agree to reuse materials from the building to be demolished
6. Aluminium rainwater goods
7. Specifications of solar panels
8. Details of any lights to be agreed
9. Details of any signs to be agreed
10. Details of the screen by the stairs to be submitted before its installation
11. Details of how the footprint of the gym will be recorded must be submitted before its demolition
12. Submit samples of the materials
13. Use of lime with any pointing/rendering work



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SITE LOCATION PLAN KEY

- Land Ownership Boundary
- Proposed Site Boundary

Area: 2.39a / 0.97ha



P03 Planning Issue	19.09.25	DH	CG
P02 Issued for Planning	29.08.25	GS	CG
P01 Draft Planning Issue	06.08.25	GS	CG
REV DESCRIPTION	DATE	BY	CHK

CLIENT
Bangor University

CONTRACTOR

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PROJECT
New Business School, Bangor University

DRAWING SCALE
Site Location Plan - Red Line Boundary As indicated @ A3

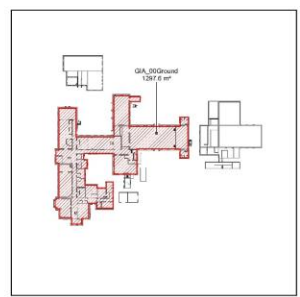
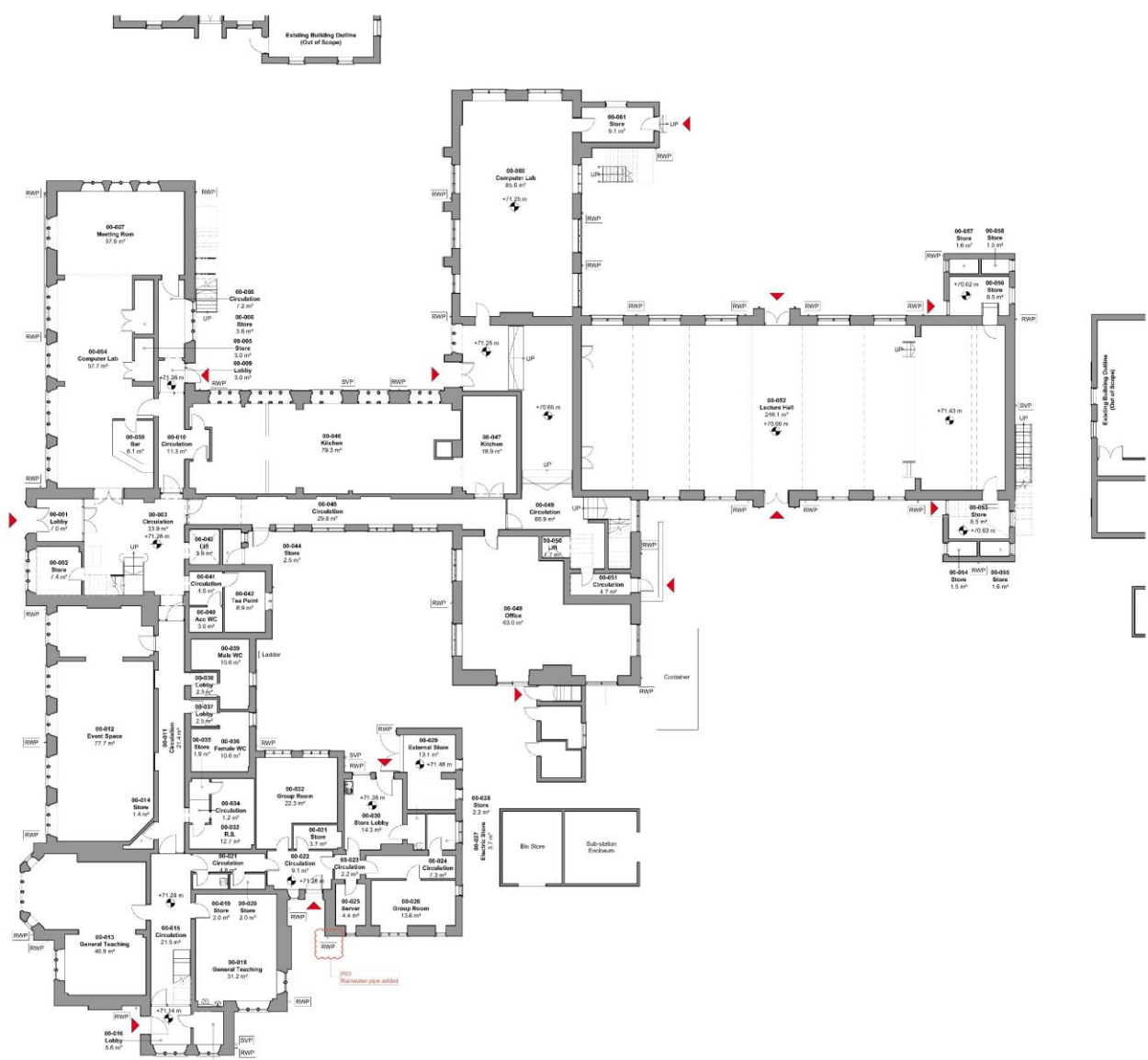
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Notes:
 1. All dimensions are in meters.
 2. All areas are in square meters.
 3. All elevations are in meters above sea level.
 4. All rooms are numbered according to the room schedule.
 5. All rooms are shown in their existing condition.
 6. All rooms are shown in their existing condition.
 7. All rooms are shown in their existing condition.



Room Schedule_Existing_00Ground		
Number	Name	Area
00Ground		
00-001	Lobby	7.0 m ²
00-002	Store	7.4 m ²
00-003	Circulation	33.9 m ²
00-004	Computer Lab	57.7 m ²
00-006	Store	3.0 m ²
00-008	Store	3.0 m ²
00-007	Meeting Room	37.8 m ²
00-008	Circulation	7.2 m ²
00-008	Lobby	3.0 m ²
00-010	Circulation	11.3 m ²
00-011	Circulation	77.7 m ²
00-013	Event Space	46.8 m ²
00-014	Store	1.4 m ²
00-018	Circulation	25.4 m ²
00-018	Lobby	5.8 m ²
00-017	Aux WC	3.0 m ²
00-018	General Teaching	31.2 m ²
00-019	Store	2.0 m ²
00-020	Store	2.0 m ²
00-021	Circulation	4.8 m ²
00-022	Circulation	9.1 m ²
00-023	Circulation	2.2 m ²
00-024	Circulation	7.3 m ²
00-025	Server	4.4 m ²
00-026	Group Room	13.6 m ²
00-027	Electrical Store	3.7 m ²
00-028	Store	2.2 m ²
00-028	External Store	13.1 m ²
00-030	Store Lobby	14.3 m ²
00-031	Store	3.7 m ²
00-032	Group Room	23.3 m ²
00-033	R.S.	12.7 m ²
00-034	Circulation	1.8 m ²
00-035	Store	1.8 m ²
00-036	Female WC	10.6 m ²
00-037	Lobby	2.3 m ²
00-038	Lobby	2.3 m ²
00-039	Male WC	10.0 m ²
00-040	Aux WC	3.0 m ²
00-041	Circulation	4.0 m ²
00-042	Tap Point	6.9 m ²
00-043	LRI	3.9 m ²
00-044	Store	2.3 m ²
00-046	Circulation	29.8 m ²
00-046	Kitchen	79.3 m ²
00-047	Kitchen	18.9 m ²
00-048	Office	69.3 m ²
00-049	Circulation	66.9 m ²
00-050	LRI	1.7 m ²
00-051	Circulation	4.7 m ²
00-052	Lecture Hall	246.1 m ²
00-053	Store	8.5 m ²
00-054	Store	1.6 m ²
00-055	Store	1.6 m ²
00-056	Store	8.5 m ²
00-057	Store	1.4 m ²
00-058	Store	1.5 m ²
00-059	Bar	6.1 m ²
00-060	Computer Lab	60.4 m ²
00-061	Store	8.1 m ²
00-061	Store	138.5 m ²

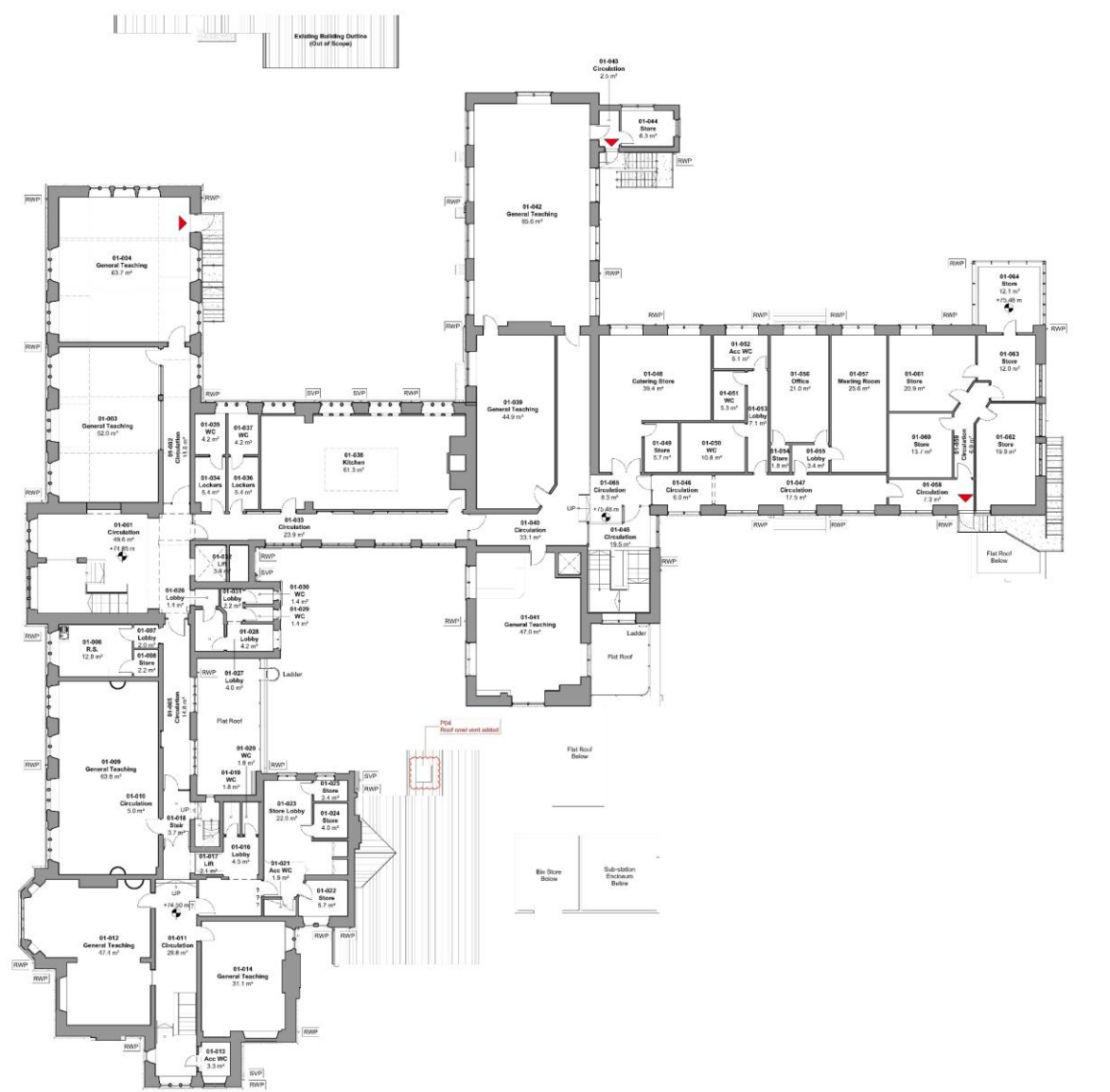


Notes:
 1. All dimensions are in meters.
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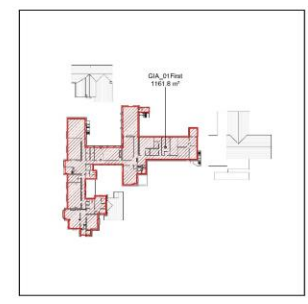


Room Schedule_Existing_01First

Number	Name	Area
01First		
01-001	Circulation	49.6 m²
01-002	Circulation	14.2 m²
01-003	General Teaching	32.0 m²
01-004	General Teaching	63.7 m²
01-006	Circulation	11.8 m²
01-008	R.S.	13.3 m²
01-007	Lobby	2.0 m²
01-008	Store	2.2 m²
01-008	General Teaching	63.8 m²
01-010	Circulation	5.0 m²
01-011	Circulation	29.8 m²
01-012	General Teaching	47.4 m²
01-013	Aux WC	3.3 m²
01-014	General Teaching	31.1 m²
01-015	Circulation	7.1 m²
01-016	Lobby	4.5 m²
01-017	LR	2.1 m²
01-018	Stair	3.7 m²
01-018	WC	1.8 m²
01-020	WC	1.8 m²
01-021	Aux WC	1.9 m²
01-022	Store	5.1 m²
01-023	Store Lobby	22.0 m²
01-024	Store	4.0 m²
01-025	Store	2.4 m²
01-026	Lobby	1.4 m²
01-027	Lobby	4.0 m²
01-028	Lobby	4.2 m²
01-029	WC	1.4 m²
01-030	WC	2.3 m²
01-031	Lobby	1.4 m²
01-032	LR	3.8 m²
01-033	Circulation	23.8 m²
01-034	Lockers	5.1 m²
01-035	WC	4.2 m²
01-036	Lockers	5.1 m²
01-037	WC	4.2 m²
01-038	Kitchen	61.3 m²
01-038	General Teaching	44.9 m²
01-040	Circulation	33.1 m²
01-041	General Teaching	47.0 m²
01-042	General Teaching	65.8 m²
01-043	Circulation	2.9 m²
01-044	Store	6.2 m²
44		791.6 m²
01First_01		
01-045	Circulation	19.9 m²
01-046	Circulation	5.0 m²
01-047	Circulation	17.2 m²
01-048	Coloring Store	36.4 m²
01-048	Store	5.7 m²
01-049	WC	10.8 m²
01-051	WC	3.9 m²
01-052	Aux WC	6.1 m²
01-053	Lobby	7.1 m²
01-054	Stair	1.8 m²
01-055	Lobby	3.1 m²
01-056	Office	21.1 m²
01-057	Meeting Room	25.6 m²
01-058	Circulation	7.3 m²
01-059	Circulation	19.9 m²
01-060	Stair	13.7 m²
01-061	Stair	20.8 m²
01-062	Stair	18.9 m²
01-063	Stair	12.2 m²
01-064	Stair	12.1 m²
01-065	Circulation	8.3 m²
Total NA @		1,052.0 m²



Existing Building Outline (Part of Scope)



Notes:

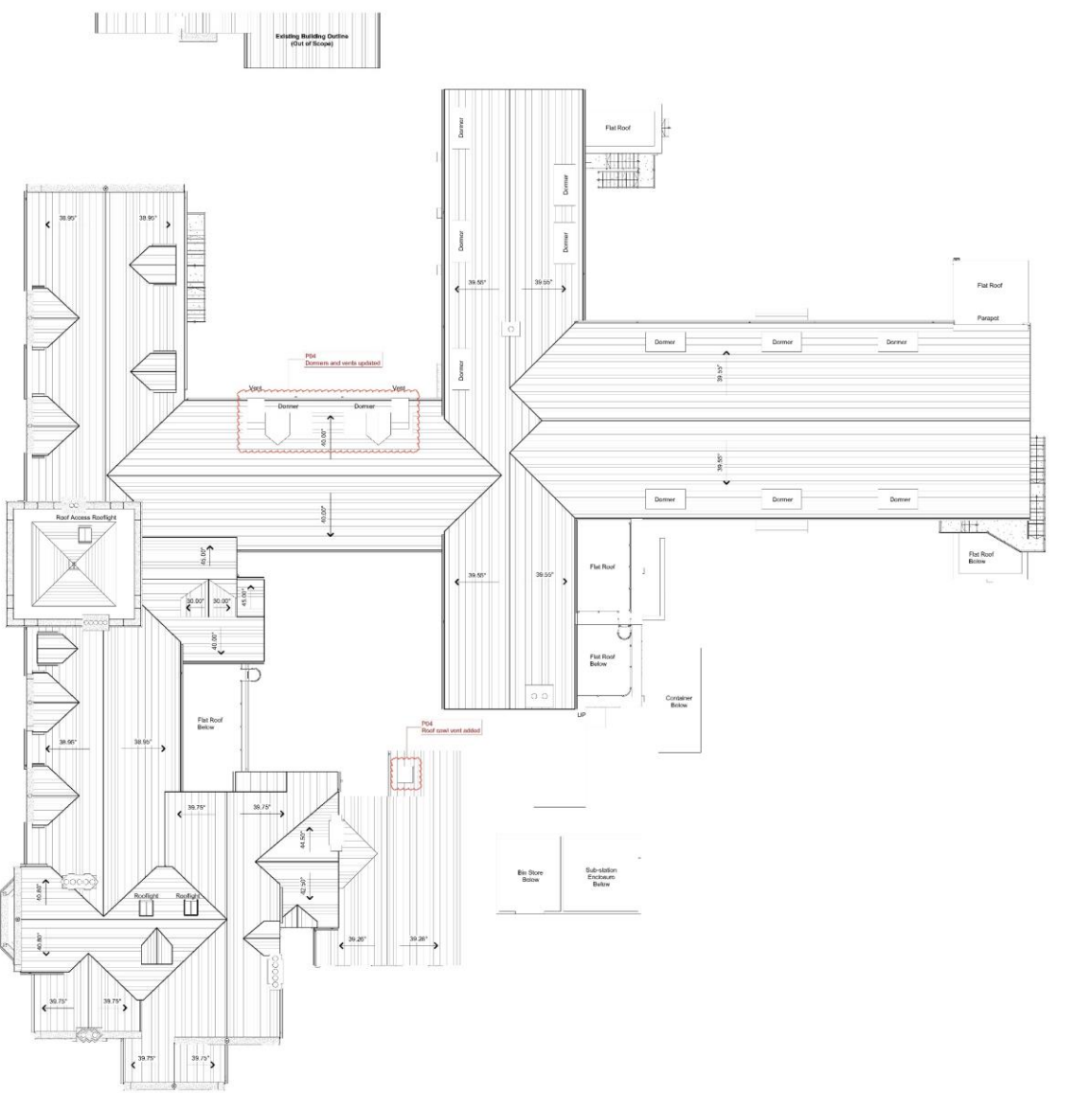
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10. All dimensions are to the exterior face of the roof structure.



NO.	DESCRIPTION	DATE
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3	Issue for Review	10/29/2024
4	Issue for Review	11/05/2024
5	Issue for Review	11/12/2024
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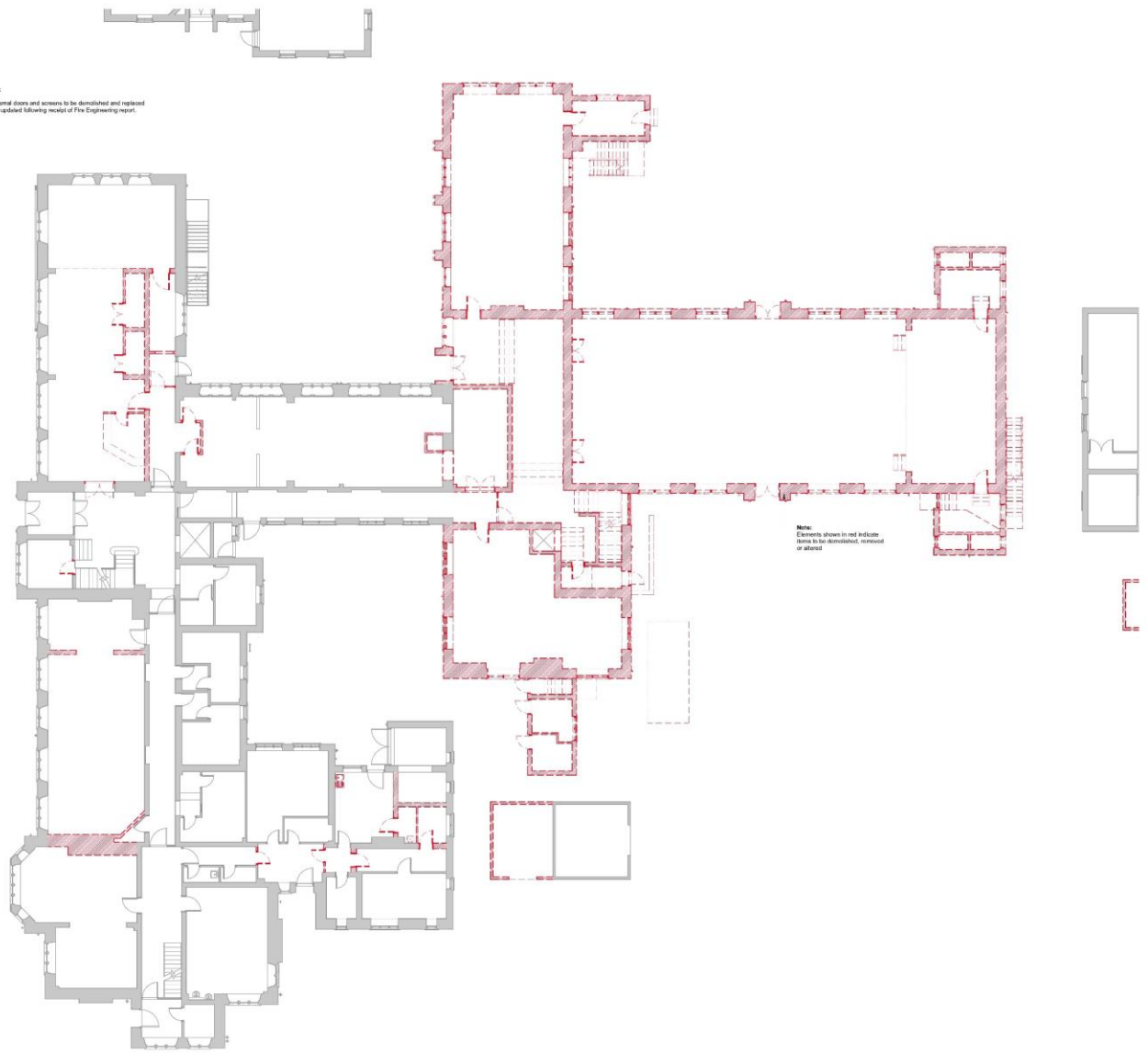
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2004 P04
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 GA_Plan_Existing_Roof

New Business School
 Ranger University, Piedmont
 Road, Georgia 30078
 Status: D2 (For Tender)
 Project Number: 2330

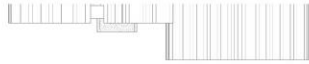




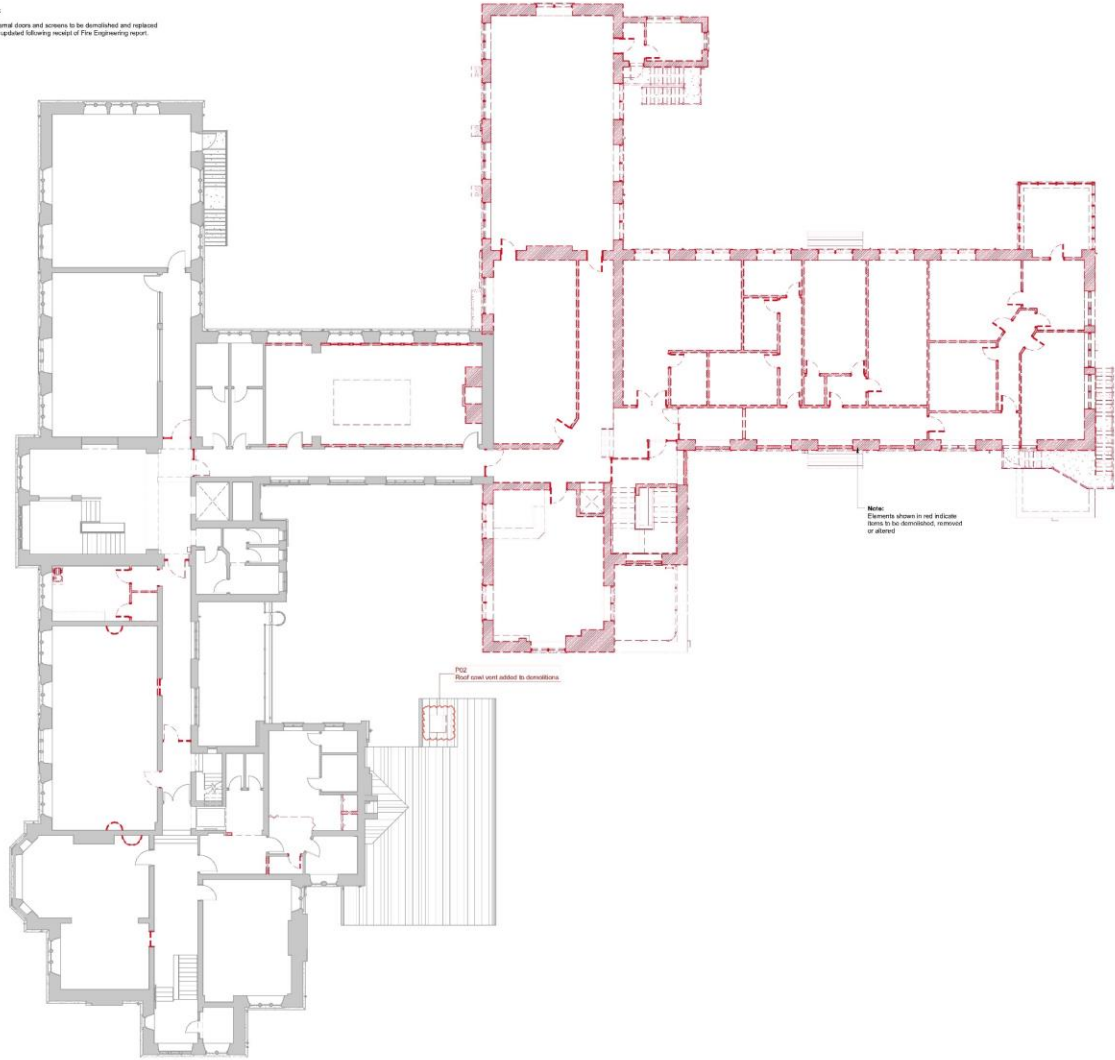
Important Note:
Full extent of internal doors and screens to be demolished and replaced unknown. To be updated following receipt of Fire Engineering report.



Note:
Elements shown in red indicate items to be demolished, removed or altered



Important Note:
 Full extent of internal doors and screens to be demolished and replaced unknown. To be updated following receipt of Fire Engineering report.



Note:
 Elements shown in red indicate items to be demolished, removed or altered

102
 Roof cover added to demolition



1:25 @ A1

- Notes:**
1. All work to be completed in accordance with the relevant Australian Standards.
 2. All work to be completed in accordance with the relevant Australian Standards.
 3. All work to be completed in accordance with the relevant Australian Standards.
 4. All work to be completed in accordance with the relevant Australian Standards.
 5. All work to be completed in accordance with the relevant Australian Standards.
 6. All work to be completed in accordance with the relevant Australian Standards.
 7. All work to be completed in accordance with the relevant Australian Standards.
 8. All work to be completed in accordance with the relevant Australian Standards.
 9. All work to be completed in accordance with the relevant Australian Standards.
 10. All work to be completed in accordance with the relevant Australian Standards.





Reported Note:
Full extent of internal doors and screens to be demolished and replaced unknown. To be updated following receipt of Fire Engineering report.

Note:
Additional space under this area removed during excavations. No survey information available.

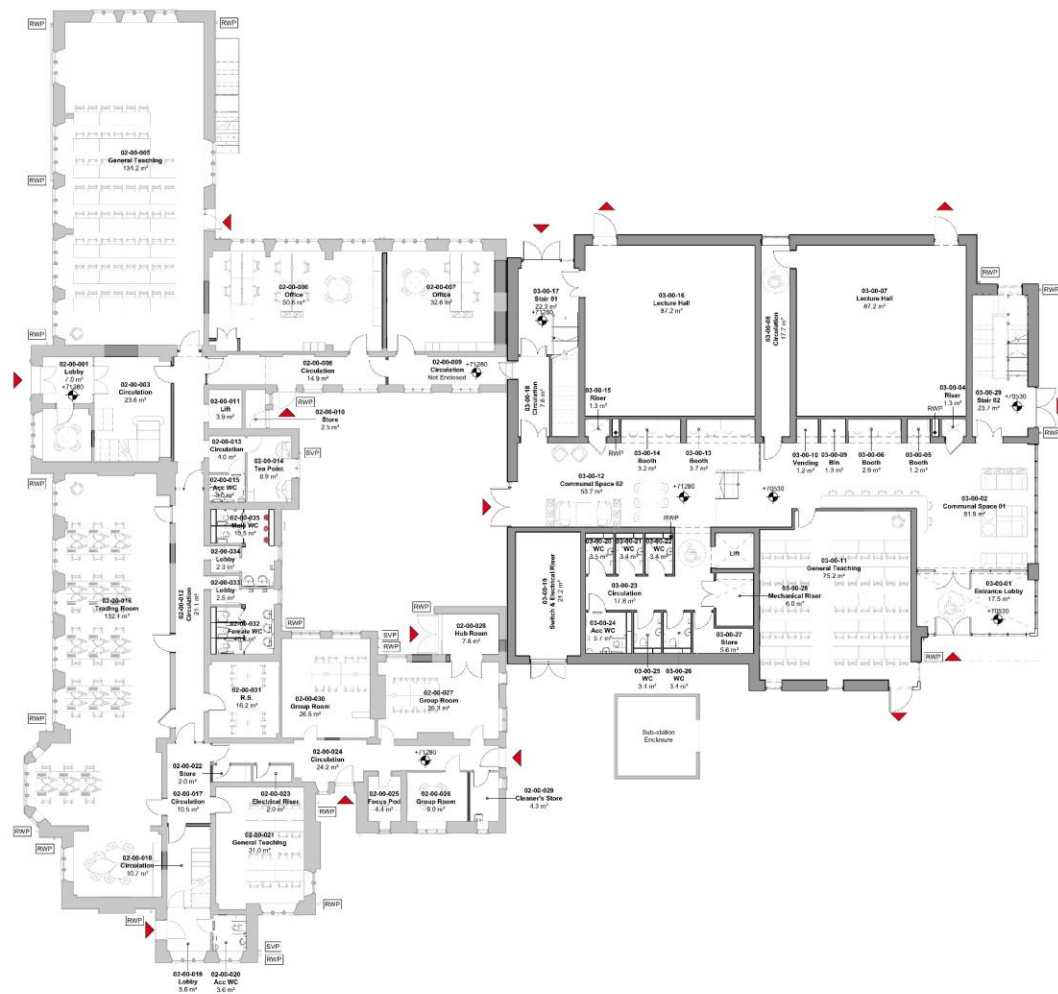
Note:
Elements shown in red indicate items to be demolished, removed or altered.

PIG
Verbs added to demolitions

PIG
Roof cover added to demolitions

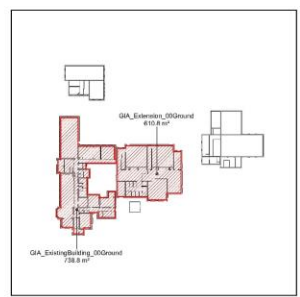
(Out of Scope)





Room Schedule_Extension_00Ground		
Number	Name	Area
00LowerGround		
03-00-01	Entrance Lobby	17.3 m ²
03-00-02	Communal Space 01	81.9 m ²
03-00-04	Riser	1.3 m ²
03-00-05	Booth	1.2 m ²
03-00-06	Booth	2.8 m ²
03-00-07	Lecture Hall	87.2 m ²
03-00-08	Circulation	17.7 m ²
03-00-09	Stair	1.3 m ²
03-00-10	Vending	1.2 m ²
03-00-11	General Teaching	75.2 m ²
03-00-28	Site 02	23.7 m ²
11		311.2 m ²
00Ground		
03-00-12	Communal Space 02	63.7 m ²
03-00-13	Booth	3.7 m ²
03-00-14	Booth	2.2 m ²
03-00-15	Riser	1.3 m ²
03-00-16	Lecture Hall	87.2 m ²
03-00-17	Stair 01	22.3 m ²
03-00-18	Circulation	74.6 m ²
03-00-19	Stair & Electrical Riser	24.2 m ²
03-00-20	WC	3.3 m ²
03-00-21	WC	3.4 m ²
03-00-22	WC	3.4 m ²
03-00-23	Circulation	11.8 m ²
03-00-24	Acc.WC	5.7 m ²
03-00-25	WC	3.4 m ²
03-00-26	WC	3.4 m ²
03-00-27	Stair	5.6 m ²
03-00-28	Mechanical Floor	6.0 m ²
17		288.5 m ²
Total NIA_28		589.7 m ²

Room Schedule_Existing Building_00Ground		
Number	Name	Area
A08-LMA-02-ZZ-M1-A-002_30kloor_ExistingBuilding		
00Ground		
02-00-001	Lobby	7.0 m ²
02-00-002	Meeting Space	7.4 m ²
02-00-003	Circulation	23.6 m ²
02-00-004	Circulation	9.4 m ²
02-00-005	General Teaching	134.2 m ²
02-00-006	Office	208 m ²
02-00-007	Office	20.6 m ²
02-00-008	Circulation	14.9 m ²
02-00-009	Circulation	2.5 m ²
02-00-010	Stair	1.9 m ²
02-00-011	Lift	3.9 m ²
02-00-012	Circulation	21.1 m ²
02-00-013	Circulation	4.0 m ²
02-00-014	Tray Plant	8.8 m ²
02-00-015	Acc.WC	3.0 m ²
02-00-016	Teaching Room	132.4 m ²
02-00-017	Circulation	105.1 m ²
02-00-018	Circulation	10.7 m ²
02-00-019	Lobby	5.6 m ²
02-00-020	Acc.WC	3.4 m ²
02-00-021	General Teaching	31.0 m ²
02-00-022	Stair	2.9 m ²
02-00-023	Electrical Riser	2.8 m ²
02-00-024	Circulation	24.2 m ²
02-00-025	Focus Pod	4.4 m ²
02-00-026	Group Room	9.9 m ²
02-00-027	Group Room	26.3 m ²
02-00-028	Hub Room	7.8 m ²
02-00-029	Chairman's Suite	4.3 m ²
02-00-030	Group Room	28.5 m ²
02-00-031	R.R.	16.2 m ²
02-00-032	Female WC	10.6 m ²
02-00-033	Lobby	2.9 m ²
02-00-034	Lobby	2.3 m ²
02-00-035	Male WC	10.3 m ²
02-00-036	Electrical Riser	0.8 m ²
		989.2 m ²
Total NIA_30		989.2 m ²



Notes:
 1. All dimensions are in meters.
 2. All areas are in square meters.
 3. All rooms are to be finished to the standard of the project.
 4. All rooms are to be finished to the standard of the project.
 5. All rooms are to be finished to the standard of the project.



A08 LMA 02 ZZ M1 A 002
2100 P02
 [EXTENSION]
 GA_Plan_Proposed_00Ground

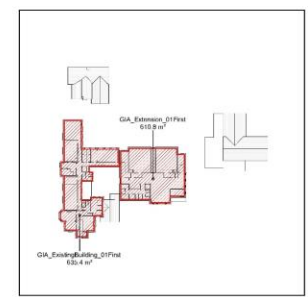
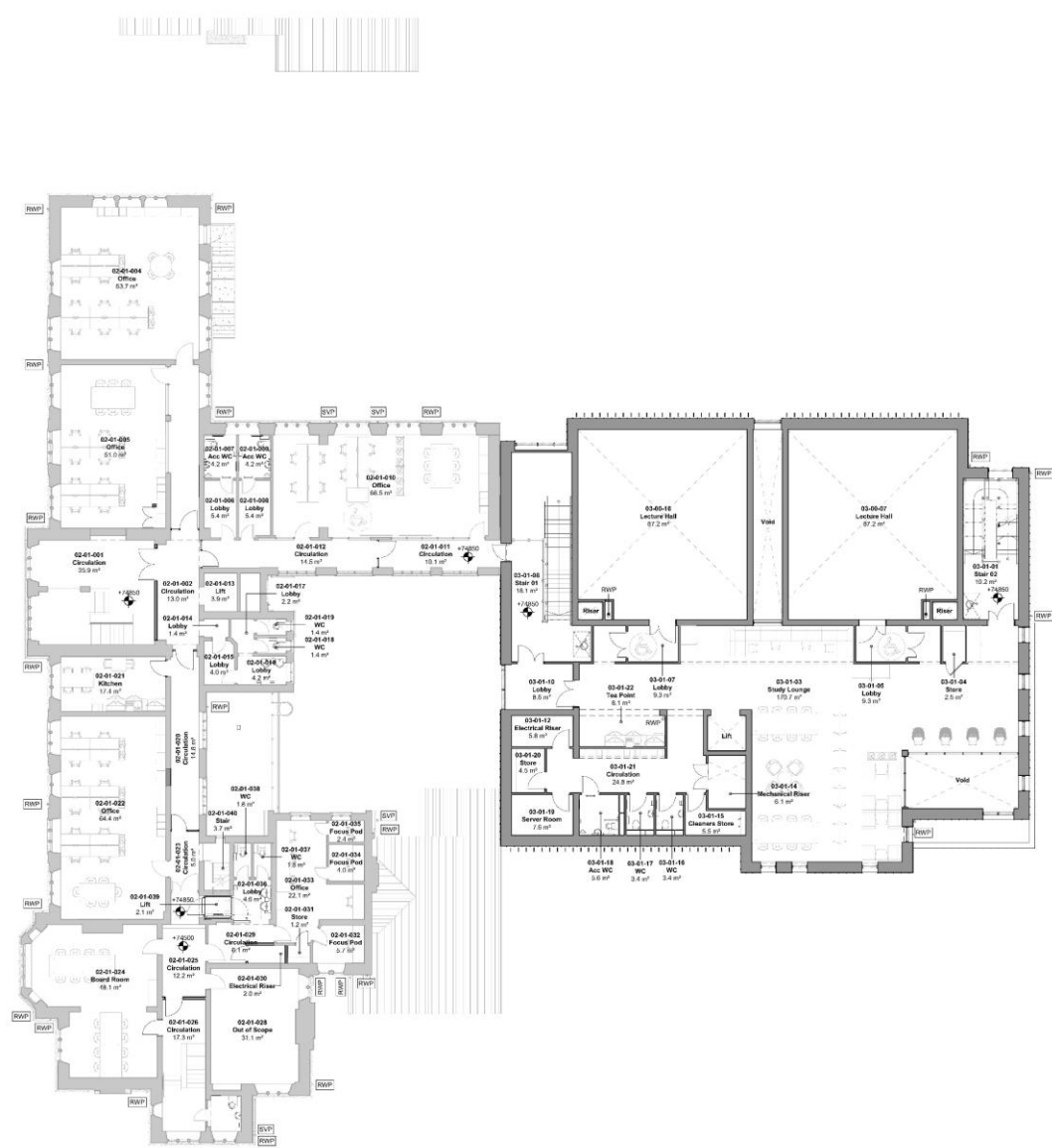
Business School
 Rangan University, Flooded
 Road, Bangalore 560 075
 Status: D2 Tender
 Project Number: 2330

Notes
 1. All dimensions are in meters.
 2. All areas are in square meters.
 3. All rooms are to be finished to the standard of the building.
 4. All rooms are to be finished to the standard of the building.
 5. All rooms are to be finished to the standard of the building.



Room Schedule_Extension_01First		
Number	Name	Area
01First		
03-01-01	Stair 02	10.2 m ²
03-01-03	Study Lounge	120.7 m ²
03-01-04	Stair	2.3 m ²
03-01-05	Lobby	9.3 m ²
03-01-07	Lobby	9.3 m ²
03-01-08	Stair 01	18.1 m ²
03-01-10	Lobby	8.8 m ²
03-01-12	Electrical Riser	5.8 m ²
03-01-14	Mechanical Riser	6.1 m ²
03-01-15	Classroom Store	5.5 m ²
03-01-16	WC	3.4 m ²
03-01-17	WC	3.4 m ²
03-01-18	Acc WC	5.8 m ²
03-01-19	Server Room	7.8 m ²
03-01-20	Stair	4.4 m ²
03-01-21	Circulation	24.8 m ²
03-01-22	Yield Point	9.1 m ²
Total MA 17		303.3 m²

Room Schedule_Existing Building_01First		
Number	Name	Area
AGB-LMA-02-ZZ-M5-A-0002_SCMModel_ExistingBuilding		
01First		
02-01-001	Circulation	36.9 m ²
02-01-002	Circulation	13.0 m ²
02-01-003	Circulation	14.0 m ²
02-01-004	Office	63.7 m ²
02-01-005	Office	6.0 m ²
02-01-006	Lobby	5.4 m ²
02-01-007	Acc WC	4.3 m ²
02-01-008	Lobby	5.4 m ²
02-01-009	Acc WC	4.3 m ²
02-01-010	Office	86.5 m ²
02-01-011	Circulation	10.1 m ²
02-01-012	Circulation	14.5 m ²
02-01-013	Lift	3.9 m ²
02-01-014	Lobby	1.4 m ²
02-01-015	Lobby	4.0 m ²
02-01-016	Lobby	4.2 m ²
02-01-017	Lobby	2.1 m ²
02-01-018	WC	1.4 m ²
02-01-019	WC	1.4 m ²
02-01-020	Circulation	18.0 m ²
02-01-021	Stair	17.8 m ²
02-01-022	Office	64.1 m ²
02-01-023	Stair	3.9 m ²
02-01-024	Board Room	98.1 m ²
02-01-025	Circulation	12.2 m ²
02-01-026	Circulation	17.3 m ²
02-01-027	OA WC	3.3 m ²
02-01-028	OA WC	3.3 m ²
02-01-029	Out of Service	31.1 m ²
02-01-030	Circulation	6.1 m ²
02-01-031	Electrical Riser	2.0 m ²
02-01-032	Stair	1.7 m ²
02-01-033	Focus Pod	5.7 m ²
02-01-034	Office	22.1 m ²
02-01-035	Focus Pod	4.0 m ²
02-01-036	Focus Pod	2.4 m ²
02-01-037	Lobby	4.5 m ²
02-01-037	WC	1.8 m ²
02-01-038	WC	1.8 m ²
02-01-039	Lift	2.1 m ²
02-01-040	Stair	3.1 m ²
02-01-041	Electrical Riser	0.7 m ²
02-01-041	Electrical Riser	310.4 m ²
Total MA 41		1018.4 m²



- Notes**
1. All dimensions are in feet and inches.
 2. All dimensions are to the centerline of the structure.
 3. All dimensions are to the finished floor level.
 4. All dimensions are to the exterior face of the structure.
 5. All dimensions are to the interior face of the structure.
 6. All dimensions are to the centerline of the structure.
 7. All dimensions are to the finished floor level.
 8. All dimensions are to the exterior face of the structure.
 9. All dimensions are to the interior face of the structure.
 10. All dimensions are to the centerline of the structure.

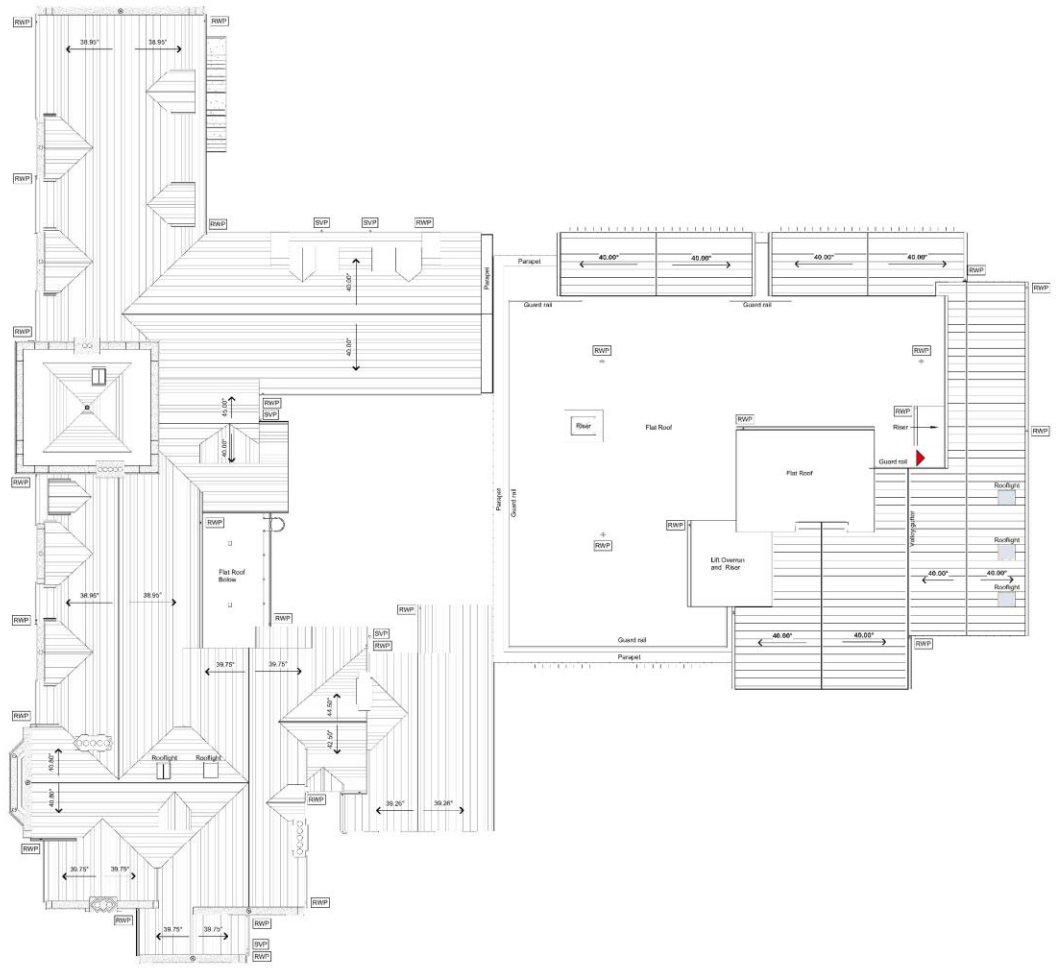


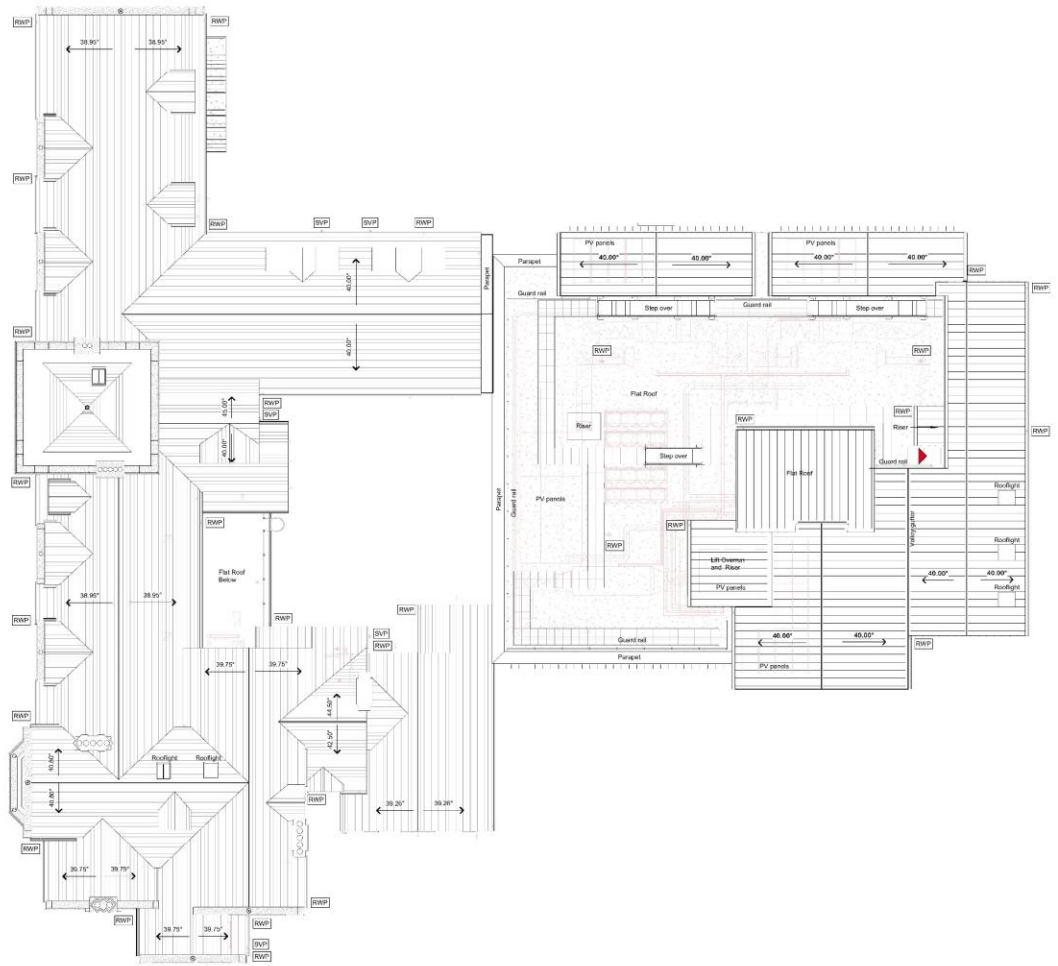
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Business School
Ranger University, Florissant
Road, Denver, CO 80231
Status: D2 | Tender
Project Number: 2103



3 Searley Street, Coventry, CV1 3LS
0244 494221
www.levellockwfo.com







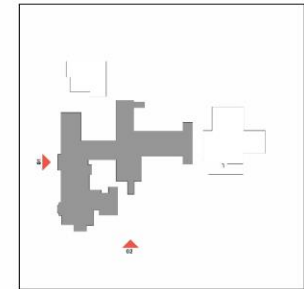
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Scale: 1 : 125

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	Element Wall Existing Product Cladding Finish Portlandash Render / Natural		Element Cladding Screens Existing Product Cladding Finish Coloured
	Element Wall Existing Product Cladding Finish Tiles / Grey		Element Cladding Screens Existing Product Cladding Finish Pattern
	Element Roof Existing Product Pitched Roof Finish Slates / Grey		Element Vents Existing Product Louvre Finish Metal / White
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	Element Chimney Existing Product Brick Finish Fresh / Colour		















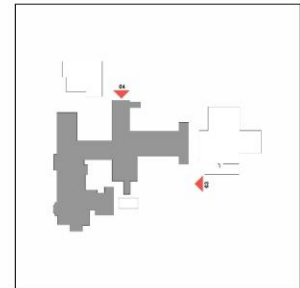
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Scale: 1 : 125

Legend | GA Elevations

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 Element Wall Existing Product Cladding Finish Portlandish Render / Natural	 Element Glazing Screens Existing Product Glazing Finish Coloured
 Element Wall Existing Product Cladding Finish Tiles / Grey	 Element Glazing Screens Existing Product Glazing Finish Pattern
 Element Roof Existing Product Flat/Roof Finish Slates / Grey	 Element Vents Existing Product Louvre Finish Metal / White
 Element Facade Features, Coping & Cills Existing Product Stone Finish Natural / Bioge	
 Element Chimney Existing Product Brick Finish Brick / Colour	



0 1.5 3.0 6.0
1:125 @ A1

Notes:

1. All dimensions are in millimeters unless otherwise stated.
2. All dimensions are to the center of the element unless otherwise stated.
3. All dimensions are to the finished surface unless otherwise stated.
4. All dimensions are to the center of the element unless otherwise stated.
5. All dimensions are to the center of the element unless otherwise stated.
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8. All dimensions are to the center of the element unless otherwise stated.
9. All dimensions are to the center of the element unless otherwise stated.
10. All dimensions are to the center of the element unless otherwise stated.

© 2024 LMA 02 22 DR A
2201 P04
GA_Elevations_Existing_02



ADD | LMA 02 22 DR A
2201 P04
(EXISTING BUILDING)
GA_Elevations_Existing_02

New Business School
Ranger University, Philadelphia
Road, Bangalore 560075

Status: D2 | For Tender
Project Number: 2330



3 Stanley Street, Chester CH1 3LS
01244 404221
www.levellockworldwide.com








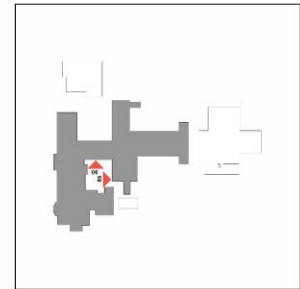
05 GA Elevations_Existing_05
Scale: 1 : 125



06 GA Elevations_Existing_06
Scale: 1 : 125

Legend | GA Elevations

 Element Wall Existing Product Cladding Finish Stone Natural	 Element Glazing Screens Existing Product Glazing Finish Clear
 Element Wall Existing Product Cladding Finish Portlandish Render Natural	 Element Glazing Screens Existing Product Glazing Finish Coloured
 Element Wall Existing Product Cladding Finish Tiles Grey	 Element Glazing Screens Existing Product Glazing Finish Pattern
 Element Roof Existing Product Pitched Roof Finish Slates Grey	 Element Vents Existing Product Louvre Finish Metal White
 Element Facade Features, Coping & Cills Existing Product Stone Finish Natural Bioge	
 Element Chimney Existing Product Product Name Finish Brick Colour	



0 1.5 3.0 4.5 6.0
1:25 @ A1

Notes:

1. The information contained in this drawing is for the project described in the title block only.
2. The information contained in this drawing is for the project described in the title block only.
3. The information contained in this drawing is for the project described in the title block only.
4. The information contained in this drawing is for the project described in the title block only.
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2202 P04
(EXISTING BUILDING)
GA_Elevations_Existing_03

New Business School
Ranger University, Fieldstead
Road, Binger LS25 7TB

Status: D2 | For Tender
Project Number: 2330



3 Searley Street Chester CH1 3LS
01244 604221
www.levelockmodel.com



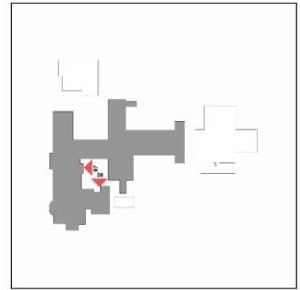
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08 GA_Elevations_Existing_08
Scale: 1 : 125

Legend | GA Elevations

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	Product Cladding		Product Glazing
	Finish Stone Natural		Finish Clear
	Element Wall Existing		Element Glazing Screens Existing
	Product Cladding		Product Glazing
	Finish Portlandish Render Natural		Finish Coloured
	Element Wall Existing		Element Glazing Screens Existing
	Product Cladding		Product Pattern
	Finish Tiles Grey		Product Glazing
	Element Roof Existing		Product Glazing
	Product Pitched Roof		Product Louvre
	Finish Slates Grey		Finish Metal White
	Element Facade Features, Coping & Cills Existing		
	Product Stone Natural Bioge		
	Finish Stone Natural Bioge		
	Element Chimney Existing		
	Product Product Name		
	Finish Finish Colour		



0 1.5 3.0 6.0
1:25 @ A1

Notes:

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3. The information contained in this drawing is not to be used for any other project without the written consent of the architect.
4. The information contained in this drawing is not to be used for any other project without the written consent of the architect.
5. The information contained in this drawing is not to be used for any other project without the written consent of the architect.
6. The information contained in this drawing is not to be used for any other project without the written consent of the architect.
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9. The information contained in this drawing is not to be used for any other project without the written consent of the architect.
10. The information contained in this drawing is not to be used for any other project without the written consent of the architect.

3 Searley Street Creative CH1 2LS
01244 404221
www.hendockmfordell.com

ADD | LMA 02 22 DR A
2203 P04
[EXISTING BUILDING]
GA_Elevations_Existing_04

New Business School
Ranger University, Fifehead
Road, Benger LS2 2TA
Status: D2 | For Tender
Project Number: 2330

LM HENDOCKMFORDELL
architects



01 GA_Elevation_Proposed_01
Scale: 1 : 125



02 GA_Elevation_Proposed_02
Scale: 1 : 125

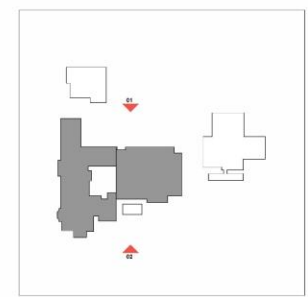
Legend | GA Elevations

Existing Building

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Element Wall Existing Product Cladding Restored to Conservation Architect Specification Finish Pilkington Renner Natural	Element Cladding Existing Product Cladding Restored to Conservation Architect Specification Finish Clear
Element Wall Existing Product Cladding Restored to Conservation Architect Specification Finish The Grey	Element Cladding Existing Product Cladding Restored to Conservation Architect Specification Finish Clear
Element Roof Existing Product Flatbed Roof Restored to Conservation Architect Specification Finish Slates Grey	Element Glazing Existing Product Lustron Glass Restored to Conservation Architect Specification Finish Pattern
Element Facade Features, Coping & Cills Existing Product Sandstone Restored to Conservation Architect Specification Finish Natural Red	Element Vitrals Existing Product Lucerne Finish Metal White
Element Chimney Existing Product Masonry Brickwork Finish Flavan Red	Element Rainwater Goods Existing Product Rainwater Goods Restored to Conservation Architect Specification Finish Red
	Element External Doors Existing Doors Retained Product External Doors Restored to Conservation Architect Specification Finish Red
	Element External Doors New Product Hardwood Painted to match existing doors Finish Hardwood Painted to match existing doors

Extension Building

Element Wall Product Masonry Brickwork Finish Red	Element Facade Product Aluminium Feature Fin Finish Red RAL 8002 Signalbrown or closest to match VM2inc Cladding
Element Wall Product Masonry Brickwork Finish Grey	Element Facade Product Aluminium Feature Fin Finish Red RAL 7005 Traffic Grey B or closest to match VM2inc Cladding
Element Wall Product VM2inc Standing Seam Wall / Roof System Finish Finish PIGMENTO RangerRed	Element Glazing Screens Product Cladding Finish Clear
Element Wall Product VM2inc Standing Seam Wall / Roof System Finish RAL 7043 Traffic Grey B Satin Finish	Element Rainwater Goods Product Cast Iron Downpipes Finish Red RAL 8002 Signalbrown or closest to match VM2inc Cladding
Element Curtain Wall Product CPC Aluminium Door & Window Frames Finish RAL 7043 Traffic Grey B Satin Finish	Element Flashing Casing Cills Product EPDM Aluminium Finish Red RAL 8002 Signalbrown or closest to match VM2inc Cladding
Element Curtain Wall Product CPC Aluminium Lustron Panel Finish RAL 7043 Traffic Grey B Satin Finish	Element Rainwater Goods Product PVC Aluminium Finish Clear Unpainted Finish Red RAL 7043 Traffic Grey B or closest to match VM2inc Cladding
Element Facade Signs Product Signage Zone Finish To Contractor's choice and Client's Requirements	Element Flashing Casing Cills Product PVC Aluminium Finish Red RAL 8002 Signalbrown or closest to match VM2inc Cladding





03 GA_Elevation_Proposed_03
Scale: 1 : 125



04 GA_Elevation_Proposed_04
Scale: 1 : 125

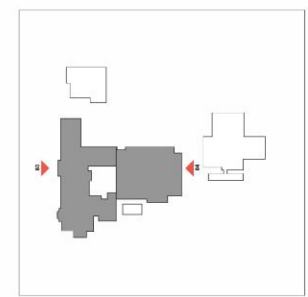
Legend | GA Elevations

Existing Building

Element Wall Existing Product Cladding Restored to Conservation Architect Specification Finish Stone Natural	Element Cladding Existing Product Cladding Restored to Conservation Architect Specification Finish Clear
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Element Wall Existing Product Cladding Restored to Conservation Architect Specification Finish Plasterboard Render Natural	Element Cladding Existing Product Cladding Restored to Conservation Architect Specification Finish Clear
Element Wall Existing Product Cladding Restored to Conservation Architect Specification Finish Plasterboard Render Natural	Element Cladding Existing Product Cladding Restored to Conservation Architect Specification Finish Clear
Element Roof Existing Product Flat Roof Required to Conservation Architect Specification Finish Tiles Grey	Element Vents Existing Product Louvre Finish Metal White
Element Façade Features, Coping & Cills Existing Product Stone Required to Conservation Architect Specification Finish Natural Red	Element Rainwater Goods Existing Product Rainwater Goods Required to Conservation Architect Specification Finish Red
Element Chimney Existing Product Masonry Brickwork Finish Flue Red	Element External Doors Existing Doors Retained Product External Doors Restored to Conservation Architect Specification Finish Red
	Element External Doors New Product External Doors New Finish Hardware Painted to match existing doors

Extension Building

Element Wall Product Masonry Brickwork Finish Red	Element Façade Product Aluminium Feature Fins Finish Red RAL 8002 Signalbrun or closest to match VM2nc Cladding
Element Wall Product Masonry Brickwork Finish Grey	Element Façade Product Aluminium Feature Fins Finish Red RAL 7005 Traffic Grey B or closest to match VM2nc Cladding
Element Wall Product VM2NC Standing Seam Wall / Roof System Finish Grey FOMENTO Ranger Red	Element Cladding Screens Product Cladding Finish Clear
Element Wall Product VM2NC Standing Seam Wall / Roof System Finish Grey FOMENTO Grey	Element Rainwater Goods Product Gutters Downpipes Finish Red RAL 8002 Signalbrun or closest to match VM2nc Cladding
Element Curtain Wall Product PVC Aluminium Door & Window Frames Finish RAL 7043 Traffic Grey B Satin Finish	Element Flashing Casing Cills Product UPVC Aluminium Finish Red RAL 8002 Signalbrun or closest to match VM2nc Cladding
Element Curtain Wall Product PVC Aluminium Louvre Panel Finish RAL 7043 Traffic Grey B Satin Finish	Element Rainwater Goods Product Gutters Downpipes Finish Red RAL 7043 Traffic Grey B or closest to match VM2nc Cladding
Element Façade Signs Product Signage Zone Finish To Contractor's choice and Client's Requirements	Element Flashing Casing Cills Product PVC Aluminium Finish Red RAL 7005 Traffic Grey B or closest to match VM2nc Cladding


















07 GA_Elevation_Proposed_07
Scale: 1 : 125



08 GA_Elevation_Proposed_08
Scale: 1 : 125

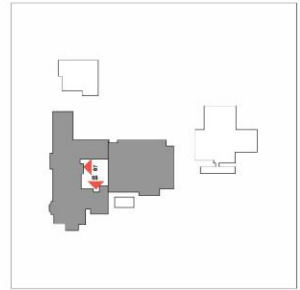
Legend | GA Elevations

Existing Building

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 Element Wall / Existing Product Cladding / Restored to Conservation Architect Specification Finish Mikalamin Render / Natural	 Element Cladding / Existing Product Cladding / Restored to Conservation Architect Specification Finish Clear
 Element Wall / Existing Product Cladding / Restored to Conservation Architect Specification Finish Thin / Grey	 Element Cladding / Existing Product Cladding / Restored to Conservation Architect Specification Finish Pattern
 Element Roof / Existing Product Flat / Roof / Required to Conservation Architect Specification Finish Slates / Grey	 Element Vents / Existing Product Louvre Finish Metal / White
 Element Facade Features, Coping & Cills / Existing Product Stone / Required to Conservation Architect Specification Finish Natural / Red	 Element Rainwater Goods / Existing Product Rainwater Goods / Restored to Conservation Architect Specification Finish Natural / Red
 Element Chimney / Existing Product Masonry Brickwork Finish Fluan / Red	 Element External Doors / Existing Doors Retained Product External Doors / Restored to Conservation Architect Specification Finish Red
	 Element External Doors / New Product External Doors / New Finish Hardware / Painted to match existing doors

Extension Building

 Element Wall / Product Product Masonry Brickwork Finish Red	 Element Facade Product Aluminium Feature Fins Finish Red /RAL 8002 Signalbrun or closest to match VM2nc Cladding
 Element Wall / Product Product Masonry Brickwork Finish Grey	 Element Facade Product Aluminium Feature Fins Finish Red /RAL 7005 Traffic Grey B or closest to match VM2nc Cladding
 Element Wall / Product Product VM2NC Standing Seam Wall / Roof System Finish Finish / PIGMENTO RangerRed	 Element Cladding Screens Product Cladding Finish Clear
 Element Wall / Product Product VM2NC Standing Seam Wall / Roof System Finish Finish / PIGMENTO Grey	 Element Rainwater Goods Product Gutters / Downpipes Finish Red /RAL 8002 Signalbrun or closest to match VM2nc Cladding
 Element Curtain Wall / Product Product PVC Aluminium / Door & Window Frames Finish RAL 7043 Traffic Grey B / Satin Finish	 Element Flashing / Cladding / Cills Product PVC Aluminium Finish Red /RAL 8002 Signalbrun or closest to match VM2nc Cladding
 Element Curtain Wall / Product Product PVC Aluminium / Louvre Panel Finish RAL 7043 Traffic Grey B / Satin Finish	 Element Rainwater Goods Product Gutters / Downpipes Finish Red /RAL 7043 Traffic Grey B or closest to match VM2nc Cladding
 Element Facade Signs Product Signage Zone Finish To Contractor's choice and Client's Requirements	 Element Flashing / Cladding / Cills Product PVC Aluminium Finish Red /RAL 8002 Signalbrun or closest to match VM2nc Cladding





09 GA_Elevation_Proposed_09
Scale: 1 : 125



10 GA_Elevation_Proposed_10
Scale: 1 : 125















11 GA_Elevation_Proposed_11
Scale: 1 : 125




12 GA_Elevation_Proposed_12
Scale: 1 : 125

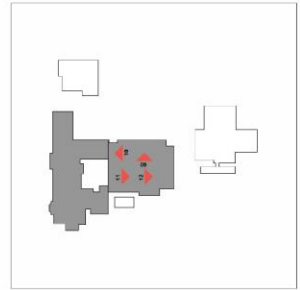
Legend | GA Elevations

Existing Building

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 Element Wall Existing Product Cladding Restored to Conservation Architect Specification Finish Polished Render (Natural)	 Element Cladding Existing Product Cladding Restored to Conservation Architect Specification Finish Clear
 Element Wall Existing Product Cladding Restored to Conservation Architect Specification Finish Thin Grey	 Element Cladding Existing Product Limestone Glass Restored to Conservation Architect Specification Finish Pattern
 Element Roof Existing Product Flatbed Roof Restored to Conservation Architect Specification Finish Slates Grey	 Element Windows Existing Product Lucerne Finish Metal White
 Element Façade Features, Coping & Cills Existing Product Stone Restored to Conservation Architect Specification Finish Natural Red	 Element Rainwater Goods Existing Product Rainwater Goods Restored to Conservation Architect Specification Finish Red
 Element Chimney Existing Product Masonry Brickwork Finish Fluted Red	 Element External Doors Existing Product External Doors Restored to Conservation Architect Specification Finish Red
	 Element External Doors New Product External Doors Finish Timber Painted to match existing doors

Extension Building

 Element Wall Product Masonry Brickwork Finish Red	 Element Façade Product Aluminium Feature Fin Finish Red RAL 8002 Signalbrun or closest to match VM2nc Cladding
 Element Wall Product Masonry Brickwork Finish Grey	 Element Façade Product Aluminium Feature Fin Finish Red RAL 7005 Traffic Grey B or closest to match VM2nc Cladding
 Element Wall Product VM2nc Standing Seam Wall / Roof System Finish PIGMENT Ranger Red	 Element Glazing Screens Product Glazing Finish Clear
 Element Wall Product VM2nc Standing Seam Wall / Roof System Finish PIGMENT Ranger Red	 Element Rainwater Goods Product Gutters Downpipes Finish Red RAL 8002 Signalbrun or closest to match VM2nc Cladding
 Element Curtain Wall Product PVC Aluminium Door & Window Frames Finish RAL 7043 Traffic Grey B Satin Finish	 Element Flashing Capping Cills Product PVC Aluminium Finish Red RAL 8002 Signalbrun or closest to match VM2nc Cladding
 Element Curtain Wall Product PVC Aluminium Louvre Panel Finish RAL 7043 Traffic Grey B Satin Finish	 Element Rainwater Goods Product PVC Aluminium Finish Red RAL 7043 Traffic Grey B or closest to match VM2nc Cladding
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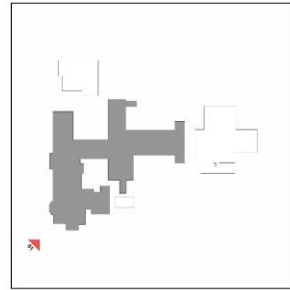




0 15 30 45 60

1:25 @ A1

- Notes:
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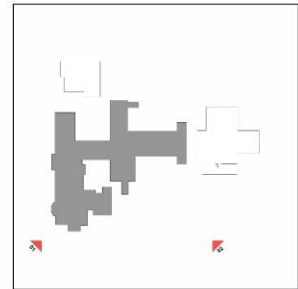
01 GA_Perspective_Existing_01



02 GA_Perspective_Existing_02

Notes:

1. The building is a three-story structure with a complex roofline featuring multiple gables and chimneys.
2. The exterior walls are constructed of stone, with a mix of light and dark tones.
3. The windows are multi-paned and vary in size, with some featuring decorative lintels.
4. The building has a prominent central section with a larger window and a small balcony.
5. The roof is steeply pitched and includes several dormer windows.
6. The drawing is a perspective view, showing the building's depth and volume.
7. The sky is a light blue, and the ground is a simple white surface.
8. The drawing is a technical sketch, not a finished rendering.
9. The drawing is a perspective view, showing the building's depth and volume.
10. The drawing is a technical sketch, not a finished rendering.

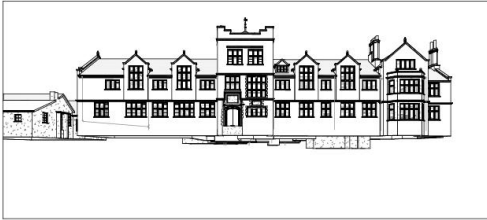


ADD LMA 02 22 DR A
2550 P01
 (EXISTING BUILDING)
 GA_Perspective_Existing_01

New Business School
 Ranger University, Philadelphia
 Penn. George L. V. 278
 Status: D2 | Tender
 Project Number: 2330



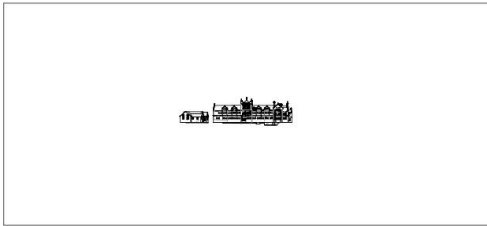
3 Siskey Street Chester CH1 3LS
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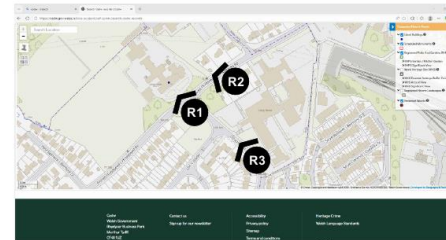
Perspective R1 Image taken from 68.6m ASL



Perspective R2 Image taken from 68.6m ASL



Perspective R3 Image taken from 68.1m ASL



Map indicating positions of each perspective above.

Notes:

- Figural dimensions are to be used in all cases.
- Dimensions should not be scaled from drawing.
- All existing dimensions should be checked on site before commencement of the works.
- Any discrepancies in dimensions should be clarified with the Architect prior to commencement of the works.
- No deviation from this drawing will be permitted without the prior written consent of the Architect.
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- Please note that the use of any quantification data is done so at the user's own risk.
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Rev.	Date	First Issue of Drawing	PAF	PAF
Rev.	Date	Revision Description	Drawn	Checked
P01	26-03-24	First Issue of Drawing	PAF	PAF

AGB | LMA | ZZ | ZZ | DR | A
9008 | P01
 [EXISTING BUILDING]

Sketch_Perspectives_
 Proposed01

New Business School
Bangor University, Ffriddoedd
Road, Bangor LL57 2TS

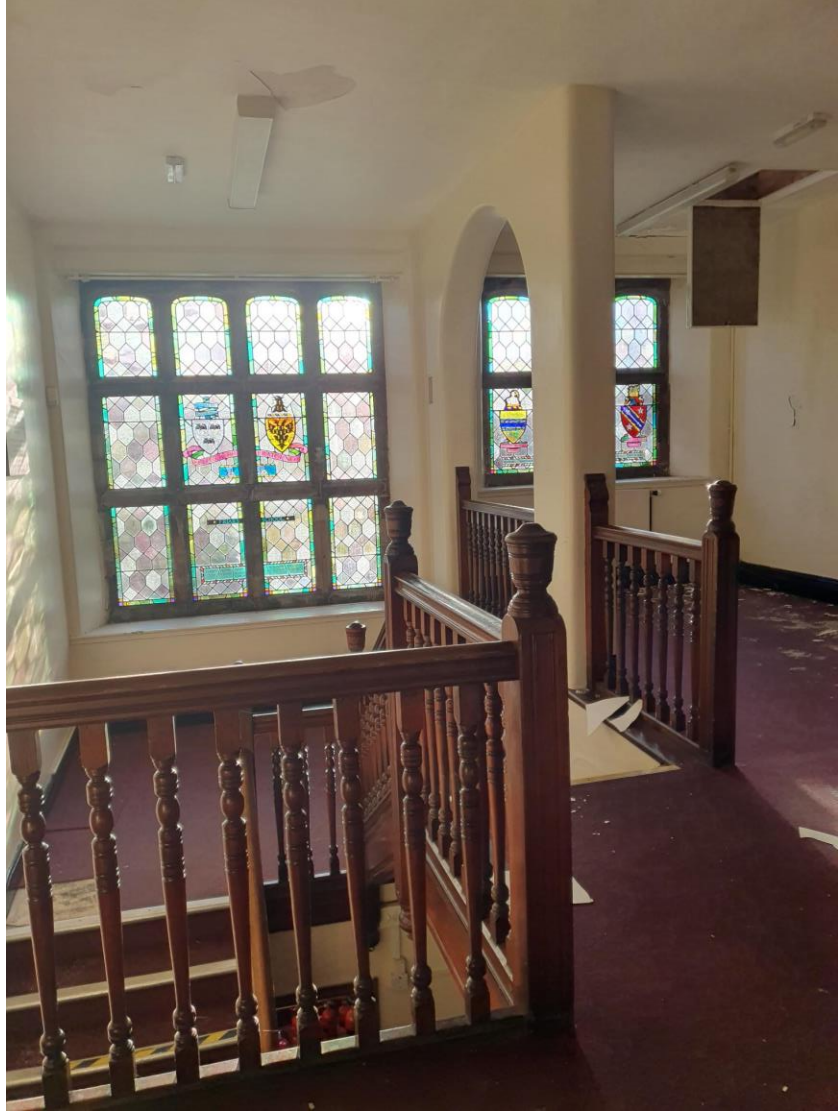
Status: A3 | Planning

Project Number: 2535



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 01244 404321
 www.love-lockmitchell.com







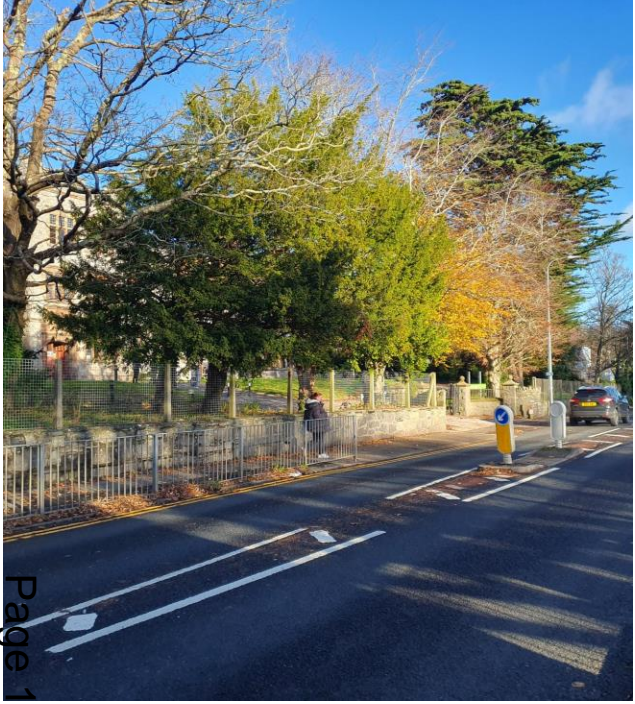












PLANNING COMMITTEE	DATE: 27/04/2026
REPORT OF THE ASSISTANT HEAD OF DEPARTMENT	

Number: 4

Application Number: C25/0710/41/LL

Date Registered: 19/12/2025

Application Type: Full

Community: Llanystumdwy

Ward: Llanystumdwy

Proposal: Erection of 25 affordable houses, creation of new vehicular access off the B4354 as well as associated work

Location: Land Near Cae Capel, Chwilog, LL53 6SF

Summary of the Recommendation: TO APPROVE SUBJECT TO THE COMPLETION OF A SECTION 106 AGREEMENT OR A UNILATERAL AGREEMENT FOR AN EDUCATIONAL CONTRIBUTION AND PLAY EQUIPMENT IN OPEN SPACES.

PLANNING COMMITTEE	DATE: 27/04/2026
REPORT OF THE ASSISTANT HEAD OF DEPARTMENT	

1. Description:

- 1.1 Full planning application to erect 25 affordable housing as well as the creation of a new vehicular access, and associated developments on a 0.73ha site. The majority of the site area has been designated specifically for the erection of housing within the Chwilog development boundary, a village defined as a Service Village within the Gwynedd and Anglesey Joint Local Development Plan (Site T64), but it can be seen that a section in the north-west of the site is outside the designation and the development boundary itself; therefore, this section of the site is considered as an exception site.
- 1.2 The proposal involves erecting the house and providing a new access off the B4354 class 2 public road, creation of an internal estate road as well as walking paths, creation of parking spaces, creation of a public open space, erection of boundary walls and fences and associated drainage works. Specifically, the proposal contains the following housing mix:
- 6 x one-bedroom flats
 - 9 x two-bedroom houses
 - 8 x three-bedroom houses
 - 2 x two-bedroom bungalows
- 1.3 From the information submitted, it can be seen that the plan would provide 100% affordable housing with a mix of occupancy being provided (e.g. social rent housing, intermediate affordable rented housing), to meet the need as highlighted.
- 1.4 In terms of their appearance, the houses will be finished in a mix of materials to convey different styles and to vary the appearance on the site. The proposed materials for use include:
- Roofs: Natural slate;
 - Walls: Render / timber/stone cladding
 - Boundary treatments – a mixture of hedges and timber fences, with some existing hedges and *cloddiau* being retained and improved with additional planning.
- 1.5 The proposed plan includes the provision of public open space in the south-eastern corner of the site, which also includes a sustainable drainage area.
- 1.6 Most of the application site is currently agricultural grazing land located within the development boundary of Chwilog and is specifically designated to erect housing within the LDP Inset Map. The implications of designating settlements such as Chwilog as service villages states as follows "In the Local Service Centres ...housing to meet the Plan's strategy will be secured through housing designations noted along with suitable windfall sites within the development boundary". The description in the LDP of the T6 4Site - land near Cae Capel notes that it is expected to erect 20 living units on the land. The B4354 class 2 public road runs parallel with the northern boundary of the site. It can be seen that residential houses directly abut the eastern boundary of the site, with residential houses also further to the north. In terms of the site outside the boundary, it abuts the north-western part of the main site and currently forms part of the curtilage of the adjacent residential property, i.e., Brynhyfryd Farm.
- 1.7 The following information was submitted in support of the application:
- Language Impact Statement
 - Planning Statement
 - Initial Ecological Assessment
 - Bat and Nesting Birds Survey
 - Reptile survey
 - Drainage Strategy
 - Design and Access Statement

PLANNING COMMITTEE	DATE: 27/04/2026
REPORT OF THE ASSISTANT HEAD OF DEPARTMENT	

- Archaeological Assessment
- Green Infrastructure Statement
- Transport Statement
- A Pre-application Consultation Report (PAC Report)
- Construction Traffic Management Plan
- Construction Environmental Management Plan
- Landscaping scheme
- Method statement for the relocation of the '*clawdd*'
- Trees Impact Assessment

1.8 In accordance with the requirements of the Town and Country Planning (Development Management Procedure) (Wales) Order 2012 (as amended), the development that is the subject of this application is defined as a "major development" due to the number of units proposed. In line with the appropriate procedure, a Pre-application Consultation Report was received as part of the application. The report shows that the developer advertised the proposal to the public and statutory consultees before submitting a formal planning application. The report contains copies of the responses received at the time.

1.9 The application has been revised since its original submission after responses received on the proposal by the Biodiversity Unit. Specifically, information on the method statement for the relocation of the clawdd has been amended by adding a detailed plan for the site. In addition, as a result of an assessment made by the applicant into the impact of wind and rain, an amendment has been made to some of the roofs of the proposed housing by changing some rear gable ends to lean-to roofs in order to avoid the risks associated with driving rain and moisture. Finally, the layout of the site was amended as a result of the comments of Welsh Water in order to avoid disrupting the existing equipment that exist on or near the site.

2. Relevant Policies:

2.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 and paragraph 2.1.2 of Planning Policy Wales emphasise that planning decisions should be in accordance with the Development Plan, unless material considerations indicate otherwise. Planning considerations include National Planning Policy and the Local Development Plan.

2.2 The Well-being of Future Generations Act (Wales) 2015 places a duty on the Council to take reasonable steps in exercising its functions to meet the 7 well-being goals within the Act. This report has been prepared in consideration of the Council's duty and the 'sustainable development principle', as set out in the 2015 Act. In reaching the recommendation, the Council has sought to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs.

2.3 Anglesey and Gwynedd Joint Local Development Plan 2011-26, adopted 31 July 2017

PCYFF 1: Development boundaries

PCYFF 2: Development criteria

PCYFF 3: Design and place shaping

PCYFF 4: Design and landscaping

PCYFF 6: Water conservation

PS 2: Infrastructure and Developer Contributions

PS 6: Alleviating and adapting to climate impacts

PS 17: Settlement Strategy

TAI 3: Housing in Service Villages

TAI 8: An appropriate mix of housing

TAI 15 : Affordable housing threshold and distribution

TAI 16: Exception Sites

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TRA 2 : Parking standards
 TRA 4: Managing transport impacts
 PS 1: The Welsh Language and Culture
 PS 19: Conserve and where appropriate enhance the natural environment
 AMG 5: Local biodiversity conservation
 PS 20: Preserving and where appropriate enhancing heritage assets
 AT 4: Protection of undesignated archaeological sites and settings
 ISA 1: Infrastructure provision
 ISA 5 : Provision of open spaces in new housing developments
 Also relevant in this case are the following:
 Supplementary Planning Guidance (SPG): Affordable housing
 SPG: Housing Mix
 SPG: Maintaining and Creating Distinctive and Sustainable Communities
 SPG: Open spaces in new housing developments
 SPG: Planning Obligation

2.4 National Policies:

Future Wales: The National Plan 2040
 Planning Policy Wales (Edition 12 - February 2024)
 Technical Advice Note 2: Planning and affordable housing
 Technical Advice Note 12: Design
 Technical Advice Note 15:
 Technical Advice Note 20: Planning and the Welsh Language

3. Relevant Planning History:

3.1 Application C25/0152/41/LL - Variation of condition 2 of Planning permission C21/1240/41/AC to extend the time allowed to submit reserved matters - No decision had been made on the application at the time of writing this report

Application C21/1240/41/AC - Variation of condition 2 of Planning permission C18/1055/41/LL to extend the time allowed to submit reserved matters. - Approved 21/03/22

Application C18/1055/41/LL - Variation of condition 2 of C14/0113/41/AM to extend the time allowed to submit reserved matters - Approved 13/02/19

C14/0113/41/AM – Outline application for the erection of 21 houses (including 7 affordable houses) with all other matters reserved (amended plan) - Approved 14/12/15

C13/0535/41/LL - Retention of a static caravan on land for use as a permanent residential unit for a temporary period of 5 years - Refused 01/08/13, subsequently approved on appeal.

3.2 It is also noted that a formal pre-application enquiry has been submitted under reference Y25/0106, when material matters relating to a residential development on this site were discussed, as well as the material matters that would likely be raised when considering the formal planning application.

4. Consultations:

Community/Town Council: **Resolved to unanimously refuse the application**, reiterating the following observations, as follows:

The local opinion is against having a housing estate on this land, and there is a petition with around 160 signatories from the village, refusing the application. The petition will be presented to Cyngor

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Gwynedd by those who have been questioning the villagers.

Here are the main reasons for refusing the application:-

Over-development is affecting the village's character.

Creating an excessive increase in housing will be a strain on the village.

The village of Chwilog has one of the highest percentage of Welsh speakers in a village in Gwynedd.

It is difficult to integrate 25 houses in the village, in terms of creating a linguistic problem.

How reliable is the data received regarding the need for so many houses in Chwilog? Information has been received that there is only space for around 7 additional pupils at Ysgol Chwilog at present.

Lack of Local Connection - having a close connection with the village or within the community of Llanystumdwy should be a factor that should give priority to a new tenant, whenever there is a change in tenancy.

The Welsh language factor - Llanystumdwy Community Council has been designated as an area of linguistic significance.

Linguistic Policy Needed - Chwilog is a Welsh village and this needs to be respected, so that this is considered when letting the houses.

A new Local Allocation Policy is needed - in order to give linguistic consideration when letting the houses. This is needed for the houses in Y Ffôr also, and across Gwynedd. It is a major concern that new tenants will move into the area from outside the area and from outside Gwynedd. Problems are emerging in nearby villages such as Llanystumdwy and Cricieth, where tenants are causing problems and breaking the law. This is not a problem in Chwilog at the moment.

Housing turnover is a problem - this is a problem as tenants choose to swap tenancies amongst each other. This can create a linguistic problem and behaviour problems.

Highways - safety, 20 mph. A high number of vehicles/lorries/tractors pass through the village. There will be a need to ensure that there is a safe pavement from the new estate to the village. Is there space to have a pavement all the way, without having to take a piece from the gardens of nearby houses?

The school is full - maybe a contribution could be made to consider increasing the size of the school? It is understood that the school is almost full at present, and there is only space for another 7 pupils, so

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a new classroom may be required.

Sewerage - there had been mention of problems with this location some years ago, when there was a proposal to build houses there.

Play facilities in the village - there is a lack of a safe play area for children in the village - would Grŵp Cynefin be willing to contribute towards upgrading the village's existing playing field, near Maes Myrddin. Cyngor Gwynedd is responsible for it.

There is no shop or post office in the village, only a local butcher.

Transportation Unit:

The application refers to building 25 affordable housing, on a Class 2 road in Chwilog, on the outskirts of the village.

Impact on the Highway Network

The road which connects the site is within a 20mph speed restriction zone. The data submitted shows that 85% of drivers drive at a speed of 37.3 mph or slower to the East and 32.2 mph to the west. In addition, there is no record of any accidents on this section of road during the last five years. Consequently, we have no significant concerns regarding safety on the current road network. According to the TRICS analysis submitted by the developer, it is expected that the impact of the development on traffic flow will be very low, and therefore it is unlikely to cause an additional burden on the local roads network.

Access to the Site

In accordance with TAN 18 guidance, the visibility splay when leaving the site should be 56m to every direction. The plans show that the visibility splay to East is short by 8m as a visibility splay of only 48m is available. Nevertheless, we believe that the provision is acceptable as vehicles tend to slow down near housing developments and there are humps on the road. The plans suggest that there is vegetation in the locations that may prevent the required visibility, particularly when observing traffic from the west. As a result, there will be a need to ensure that the access is built in a way that keeps the visibility splay clear of any obstruction, including vegetation.

Parking

The number of parking spaces for each unit complies with the relevant guidelines for residents and visitors. Walking Connections to the Village Centre Currently, there is no formal provision for walkers along the road which connects the site with the village. However, the developer has proposed to install a 2m walking path along the front of the site in order to connect with the walking path towards the east. Alongside this, we are very happy that the applicant will upgrade the humps, which exist to the east of the site, into a crossing so that pedestrians can gain safe access from the site to the existing walking network. This will improve access to existing pedestrians and provide a better connection for the residents of the new development. In addition, it would be good to see a footpath towards the west in order to create a possibility for a broader walking path in the future, but to be clear, this is not a reason for objecting to the application.

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Public Transport

The bus stop is around 100 metres away from the site towards the east, which is acceptable for access to the service on foot.

Conclusion

Based on the information submitted, the development is unlikely to have a substantial impact on the local roads network. The proposed improvements to access and walking facilities offer benefits to the community. In terms of transport and roads, there are no reasons to refuse the planning application. It is suggested that standard conditions/notes should be included with any permission granted:

Natural Resources Wales:

Although there are concerns about the application as submitted, we are content that these concerns can be satisfied provided that the plan and ecology documents submitted are included as a part of the list of plans to follow by means of a formal condition on the planning decision.

Welsh Water:

The proposal was objected to originally because elements of the development would disrupt Welsh Water's existing equipment in the vicinity.

Re-consultation

After considering the amended plans, provided that no building is erected including foundations, structures, trees/hedges, ecological mitigation, SuDS features or changes to land levels, within the protection zone of the mains water pipe, the original objection is withdrawn.

Having reviewed the proposal, it is noted that the proposal disposes of foul discharge through the public sewerage system and the disposal of surface water to a sustainable drainage system.

Sewerage treatment

The site is located within the catchment area sewerage system that drains to the Chwillog treatment works. The impact of the proposed development has been considered, and it is believed that the system can cope with the addition.

Sustainable drainage

An application for a SuDS licence must be submitted to the relevant body.

Water Supply

There is existing capacity available within the water supply system for the development.

Biodiversity Unit:

Initial observations were received, referring to the shortcomings in the information submitted regarding some ecological matters on the site and that additional information should be submitted.

Further information was received in due course, which responds to the matters raised.

In addition, a document was received which explained the method statement for re-locating a *clawdd* on the site and a specific site plan, as well as confirmation that the work will be undertaken under the supervision of an ecologist.

The Biodiversity Unit confirmed that they were happy with the methodology as proposed.

Housing Strategic Unit:

The following shows the number of applicants who wish to live in the area:

43 options on the Tai Teg register for intermediate property

79 applicants from the common housing register for a social property

The following shows the number of bedrooms that the applicants wish to have:

Number of bedrooms (owned or part-owned)

Tai Teg

Number of bedrooms	Need as a %
1 bed	0%
2 bed	33%
3 bed	65%
4+ bed	2%

Housing Options Team

Number of bedrooms	Need as a %
1 bed	31%
2 bed	42%
3 bed	22%
4 bed	4%
5 bed	1%

Based on the above information it seems that the Plan addresses the need in the area.

The plan has been included within the programme to receive a Social Housing Grant from the Welsh Government.

These plans contribute directly to the aim of Cyngor Gwynedd's Housing Action Plan to provide more housing to meet with the current high demand that exists in the county.

Land Drainage Unit:

The applicant proposes to discharge surface water from the development into an existing ditch which runs along the south-

eastern boundary of the site. This destination is used as the strategy notes that permeation tests have failed on the site. In order for the CCS to accept the use of a lower-priority destination, evidence from the permeation tests will be needed. The watercourse that the applicant intends to connect to does not appear on any mapping system available to the CCS. Therefore, we ask for evidence, such as photographs, to display the ditch. The drainage plan shows that the outfall will be piped outside the boundary of the green line. Confirmation will need to be provided as to whether this land is owned by the applicant or by a third party. If it is a third party, permission will need to be granted to build a system on their land. The CCS submits a temporary objection until the above points have been resolved.

Further response

The agent for this application has been in contact with more information regarding the drainage system. Based on this evidence, we do not have any objections to the planning application.

Language Unit:

This is a comprehensive linguistic assessment, which looks at the history of developments in the area, a comprehensive study area, as well as an analysis of the current linguistic position. They have also included projections on the fluency of prospective tenants, and the potential linguistic impact. The assessment (which includes Housing Options and Tai Teg statistics) has confirmed the local need.

Archaeology Service:

The applicant has agreed to complete an archaeological assessment before making a decision, including work to open ditches, and the results of this work are expected before responding in full.

Further response

The results of the further archaeological assessment have not found much evidence of archaeological remains and the potential of discovering any is low. As a result, there are no further archaeological implications regarding the proposed work on this site.

Trees Unit:

The trees assessment has been carried out to a good standard. A condition must be imposed to ensure that the tree preservation measures identified are followed. The proposal to plant new trees is suitable and contributes towards the site's biodiversity enhancements.

Fire Service:

ACCESS FOR FIRE VEHICLES

The specifications of typical fire and rescue service vehicles access pathways are: PUMP (required measurements) Width of the road 3.7m, width of the gate 3.1, Turning area 16.8m, height 3.7m Transportation capacity 12.5 tonnes

WATER SUPPLY Hydrants should be provided within 90m to the building's access point, and no more than 90m away from each other. Every fire hydrant should be clearly noted with a plate, installed nearby in a prominent place, in line with BS 3251:1976.

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Education Department: Considering the capacity and number of learners at the relevant primary and secondary schools, it is seen that there is current capacity in the local schools.

Public Protection Unit: Due to the proximity of the site to residential dwellings, for the benefit of nearby residents, we recommend that they adhere to the standard conditions relating to Noise, Building Control Plan, Lights, Air Source Heat Pumps and Waste.

Public Consultation: A number of notices were posted on the site and dispersed within the nearby area and nearby residents were notified. The advertising period has expired, and letters / correspondence were received, along with a petition, objecting on the following grounds:

- Causing substantial harm to the character and language balance of the community. The size of the development is not commensurate with the size of the village and makes too big a change, too quickly, threatening the linguistic capacity of the school and community to assimilate the development linguistically.
- The linguistic impact assessment is very naive and is based on principles that are incredibly flawed.
- This plan proposes an excess of social housing in a small village community, to the degree that it almost doubles the village's existing social housing stock, within a very short period of time. The development is not commensurate to the size of the village, and it does not propose a mix of housing and tenancies.
- The data regarding the demand for housing does not provide an accurate picture of the local demand in the area.
- Unacceptable existing infrastructure in terms of the road and pavements locally and the increase that would derive from the development
- Harm to local biodiversity and ecology
- Dangerous access/concern about traffic movements
- The local school is full/lack of facilities in the village
- There are too many houses already/many houses for sale
- Insufficient traffic assessment/misleading information
- Lack of sufficient and safe educational infrastructure
- Harmful impact on community cohesion
- Contrary to the requirements of relevant policies
- Lack of local demand

A petition was submitted, which had been signed by many local residents, with specific reference to the following matters:

- Such a large development would change the character of the village
- Chwillog is a Welsh village. It is likely that the development would lead to a drop in the percentage of the population who are able to speak Welsh
- There is no evidence of the local need for housing on this scale in the ward

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- Level of additional traffic
- The capacity of the sewerage system
- The pressure of the development on the infrastructure and services of the area (the school, health services, etc.)

Comments were received that were not material planning reasons, including:

- Anti-social behaviour

5. Assessment of the material planning considerations:

The principle of the development

- 5.1 It is mandatory for planning applications to be determined in accordance with the adopted development plan, unless other material planning considerations state otherwise. The Anglesey and Gwynedd Joint Local Development Plan (LDP) is the adopted 'Development Plan' in this case.
- 5.2 Most of the site area is located within the development boundary of Chwilog and it has also been designated specifically under reference T64 as a site for housing development as noted in the Anglesey and Gwynedd Joint Local Development Plan. Specifically, it can be seen that the site was designated in the LDP to erect a maximum of 20 new houses, which is a higher figure than the subject of the existing application. In accordance with Policy PCYFF 1 ('Development Boundaries'), applications will be approved within development boundaries in accordance with the other policies in the Plan, national planning policies and other material planning considerations. In the Joint LDP, Chwilog has been identified as a Service Village under policy TAI 3. This policy supports housing to meet the Plan's strategy through housing allocations and suitable unallocated sites within the development boundary based on the indicative provision within the Policy.
- 5.3 The indicative supply level for Chwilog over the Plan period is 40 units (including a 10% 'slippage allowance'). During the period 2011 to 2025, a total of 35 units have been completed in Chwilog. The land bank in 2025 was 24 units, but it should be noted that 21 of the units in the land bank are as a result of extant permission for this current site. Therefore, there would be an increase of 4 units in the land bank, if this proposal is approved. A survey of the situation in relation to the provision within all Villages, Clusters and Open Countryside in April 2025 (for Gwynedd only) shows that 767 units out of a total of 984 units have been completed, and 300 are in the land bank (and are likely to be completed).
- 5.4 Policy PS 17 in the Plan, which is the Plan's Settlement Strategy, states that 25% of the housing growth will be located within Villages and clusters. A survey of the situation in relation to the provision within all Villages, Clusters and Open Countryside in April 2025 (for Gwynedd only) shows that 767 units out of a total of 984 units have been completed, and 300 are in the land bank (and are likely to be completed). This data reflects the fact that the Plan inherited several permissions granted by the Local Planning Authorities, based on the previous development plans' requirements and relevant planning considerations. Currently, approval of this site can be considered against expected provision within the Service Villages category (based on the completion rate so far). Bearing in mind that the housing provision in Chwilog does not exceed the indicative supply figure (when considering the completed units, land bank and the designations without permission) no additional justification would be required with an application of this type outlining how the proposal would address the needs of the local community. The attached information was received on the current demand for housing, based on the current Tai Teg and Housing Options Team information, which confirm the latest figures and show the existing need.
- 5.5 In accordance with Policy TAI 8, consideration must be given as to whether the proposed development meets the demand for housing recorded in a Housing Market Assessment and other

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local evidence. As already noted above, Statements and evidence were submitted noting the rationale behind the housing mix proposed in the application and confirmation was received from the Housing Strategic Unit that the houses would meet the local need. The proposed development offers a 100% affordable housing development on this site, which has been accepted and earmarked as suitable for residential development by means of its designation in the LDP for this specific proposal. The status of Chwilog in the LDP means that new houses to serve Gwynedd as a whole is expected for this site as in other similar cases on designated sites throughout the county. Members are also reminded, as has already been noted above, that social and intermediate housing are all affordable housing, and therefore it can be noted that a total of (882 + 2374) 3256 people need affordable property, namely 2374 applicants on the Housing Options register for social Property, and 882 applicants have been registered with Tai Teg for an Intermediate property.

- 5.6 Policy TAI 15 of the LDP states that the councils will seek to ensure an appropriate level of affordable housing in the plan area. In Chwilog, the threshold is a minimum of two or more housing units. Since the proposal provides a development of 100% affordable housing and the Housing Strategic Unit has confirmed that there is evidence of the need to justify the provision as proposed, it is believed that the proposal addresses the need and the application, as a result, satisfies policy TAI 15.
- 5.7 Members are reminded that the Planning Committee has already approved the principle of a residential development on this designated site on three occasions in the past. Apart from application C14/0113/41/AM, the same policy considerations were made to these applications, namely the LDP's adopted policies, therefore, it is not believed that the situation has changed in terms of policy requirements. It is considered that there is justification and a need for the proposal and that it meets the needs of the local community. It is considered that the proposal meets the objectives of the LDP's relevant housing policies.
- 5.8 In terms of the land outside the development boundary and the T64 housing designation, this part of the site must be considered as an exception site and therefore the requirements of policy TAI 16 apply to this element. It can be seen that 4 houses are proposed within this part of the site, namely 2 x three-bedroom houses, 1 x two-bedroom houses and 1 x two-bedroom bungalow.
- 5.9 In terms of considering the demand for these houses, the local definition for these 4 houses includes the village of Chwilog itself as well as the nearby rural area (a distance of 6km from the application site and the entire area of any Community Council divided by the 6km distance, excluding property within the development boundary of any settlement, except for the settlement where the application is located). Information on the need for affordable housing has been submitted as a part of the planning application, and it can be seen that they would be provided as housing on intermediate and social rent. There would be 2 x two-bedroom, social rent units, available for local need in Chwilog. The figures on the need for Chwilog (social rent), shows that some have a local connection and there are 7 on the list who need a two-bedroom house, with a local connection. In terms of the two houses let on intermediate rent, it can be seen that information from the Tai Teg register confirms that three on the list live in Chwilog and have a local connection (over 5 years) and are therefore eligible for the units. Therefore, it is believed that the application meets the need and is acceptable in terms of the relevant requirements of policy TAI 16.

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Visual amenities

- 5.10 Generally, policies PCYFF 2 and PCYFF 3 of the Joint Local Development Plan support proposals for new developments provided they do not have a detrimental impact on the health, safety or the amenities of the residents of local properties or on the area in general. In addition, developments are required to:
- Contribute to, and enhance the character and appearance of the site
 - Respect the site and its surroundings in terms of its position in the local landscape
 - Use appropriate materials
- 5.11 In considering the semi-urban context of the site and the fact that it will form a logical extension to the village between previously developed sites either in the form of residential units, holiday sites etc, it is believed that the setting, design and materials of the proposed development are in-keeping with the location. It is believed that the houses have been designed to a quality standard which would be in-keeping with the general sense of the village. It is not considered that the houses would cause significant harm to the built quality of the site or the local neighbourhood and, consequently, the development is considered to be acceptable under Policies PCYFF 2 and PCYFF 3 of the LDP as they relate to these matters.

General and residential amenities

- 5.12 Due to the location, design, orientation, and size of the proposed houses, it is not believed that there would be any significant detrimental impact on private amenities deriving from this development. It is recognised that private houses abut the site on the western and eastern boundaries and that there is housing opposite on the other side of the public road. Having taken into account the distance between the new houses and these houses, it is not believed that there will be any harmful overlooking of existing property deriving from the development and, whilst it is inevitable that there will be some inter-visibility between the area's properties, it is not believed that this would be unreasonable or unexpected in such a location. There would be no harm either in terms of impacts such as shadowing or dominating any other property.
- 5.13 In considering the above discussion, it is deemed that the development is acceptable under Policies PCYFF 2 and PCYFF 3 of the LDP in terms of its impacts on private amenities.

The Welsh Language

- 5.14 There is no need for a Linguistic Statement in line with criterion (1b) of Policy PS 1 'The Welsh Language and Culture', since the proposed development would not, either individually or accumulatively with other developments, provide more than the indicative housing provision for the village of Chwilog.
- 5.15 A report in the form of a Language Impact Assessment summarising in detail the current situation in the context of the language and relevant findings was received. It notes *"In terms of the restricted information available, we are of the opinion that approving this proposal, subject to the further collection of research on the accumulative impacts of the development, alongside other local developments, has a substantial positive impact on the linguistic resilience of Chwilog."*
- 5.16 In its response to the consultation, the Language Unit states that the linguistic assessment is comprehensive, looking at the history of developments in the area, a comprehensive study area and an analysis of the current linguistic position. It also notes that the statement has included presumptions on the fluency of prospective tenants, and the potential linguistic impact and that the assessment has confirmed the local need.

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- 5.17 It is acknowledged that concerns have arisen regarding the proposal, but it has to be recognised that this is a site that has already been designated for housing within the LDP and the site was the subject of a linguistic assessment at that time. The applicants have submitted a thorough Language Impact Statement which summarises the argument in favour of the proposal and the impact on the community and linguistic fabric of the village of Chwilog. The existing housing situation within the county is very much known in terms of the seriousness of finding a house at an affordable price. The principle of a new residential development which would contribute towards meeting the local need and considering that the site has been allocated for housing and for 100% affordable housing, no unanswerable evidence has been submitted to show that the proposal would have a harmful impact on the Language and therefore it is considered that the proposal is acceptable in terms of policy PS1 of the LDP and the relevant supplementary planning guidance. As is customary, it is intended to impose appropriate conditions to ensure that Welsh names are agreed for the estate and the houses.

Transport and access matters

- 5.18 Whilst acknowledging that concerns have been raised during the public consultation, the Transportation Unit does not object to the proposal. Subject to appropriate conditions to agree and accept the appropriate permits to create the access and carry out work that would affect the road/public pavement, the parking arrangements, layout of the estate road and vehicular access are acceptable to the Transportation Unit, and it is not believed that the additional traffic deriving from the new development would increase the risk to road users in a significant way. Therefore, we believe that the proposal meets the relevant requirements in terms of road safety and the parking provision and that a convenient and safe access arrangement can be secured. The application therefore meets the requirements of policies TRA 2 and TRA 4 of the LDP as they relate to these matters.

Biodiversity matters

- 5.19 Several detailed documents were submitted regarding the ecology of the site and the arrangements for sustaining and enhancing local biodiversity as needed. Policies PS 19 and AMG 5 seek to protect and/or enhance the natural environment and protect the conservation of local biodiversity. It can be seen from the observations that concerns have been highlighted by the Biodiversity Unit but that responses in the form of further or amended statements have been received regarding these matters. It can be seen that the proposal involves developing agricultural grazing land for the development. The site, however, has been designated for residential development in the LDP and therefore it would be expected that there would be changes to the site as a result.
- 5.20 It is accepted that existing *cloddiau*, trees and hedges contribute to the visual amenities of the site and nearby area, and it is believed that the proposal, despite involving some loss, intends to compensate and improve the natural growth on the site by implementing their landscaping plans provided by field experts. As noted above, the site has been designated for housing in the LDP. It is therefore likely that consideration was given at the time of adopting the Plan to the importance of retaining the trees in question but although they were on the land they were not considered at that time to be sufficiently important so as not to designate the land for housing development.
- 5.21 Regarding the relocation of the '*clawdd*', a detailed document was submitted, outlining the arrangements of this work and therefore it is believed that a condition can be imposed to agree on the details of this aspect.
- 5.22 By imposing appropriate conditions to reach an agreement on the site's lighting details as well as ensuring that all mitigation measures and biodiversity enhancements are implemented in line with relevant reports, it is believed that the development is acceptable under the relevant requirements of policies PS 19 and AMG 5 of the LDP as well as chapter 6 of Planning Policy Wales which relates to the green infrastructure and the stepwise approach.

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Archaeological Matters

- 5.23 It appears from the information submitted that an Archaeological Assessment has been submitted with the application. The Archaeological Service confirmed (following additional inspections on the site), that a further archaeological assessment had not found much evidence of archaeological remains and that the potential of discovering any was low. As would normally be the case, it is considered that the inclusion of a standard condition to ensure that the development is carried out in accordance with the relevant recommendations of the reports is entirely reasonable in this case and thus, it is believed that the relevant requirements of policies PS 20 and AT 4 are met.

Open spaces

- 5.24 Policy ISA 5 states that new housing proposals for 10 or more dwellings, in areas where existing open spaces cannot meet the needs of the proposed housing development, are expected to provide suitable provision of open space. Paragraph 6.1.29 of the LDP states that in order to inform the open space requirements on future proposals, the Fields in Trust (FIT) benchmark standard of a minimum 2.4 hectares per 1,000 population should be used. This includes 1.6ha of outdoor sports facilities (of which 1.2ha are formal playing fields) and 0.8ha of children's play space (of which 0.25ha are equipped play areas). The estimate made indicates a lack of provision of outdoor sports and play areas for children with equipment in this area.
- 5.25 The proposed development offers an open area of 955m² on the site, but no play equipment is proposed. As no provision is offered on the site, an explanation is given in part 5.73 of the Planning Statement as to why play equipment is not proposed on the site, namely "*Due to the restricted size of the open space and the need to use this area for the site's SuDS features, it was considered that providing a space for children's play equipment is not viable*".
- 5.26 Policy ISA 5 acknowledges that including a provision on sites is not practical in every case, but the applicant must provide firm justification to prove that it is not possible to provide outdoor play areas as a part of a new housing development. In such cases, the Authority will seek to arrange a planning obligation under Section 106 or a unilateral agreement to enable developers to make a contribution towards suitable off-site play areas instead of direct provision within the development site. The relevant contribution in this case is £3583.98.
- 5.27 It is believed that in a case such as this and as has already been agreed with similar developments, a financial contribution is intended to be secured by means of a 106 agreement or a unilateral agreement and thereby, to ensure that the proposal is acceptable in accordance with the relevant requirements of policy ISA 5.

Educational matters

- 5.28 Policy ISA 1 states that when proposals create direct needs for new or improved infrastructure, including education facilities, the provision around infrastructure in the Development Plan makes it a requirement for the proposal to fund these. A financial contribution may be requested to improve the associated infrastructure, facilities, services and work, when these are essential to make the proposals acceptable.
- 5.29 Based on information from the Planning Obligations SPG (September 2019), (the 6 x one-bedroom flats are disregarded), it is estimated that a development of 19 houses would have the potential to produce the following numbers:
- Primary School = 8 children
 - Secondary School = 7 children

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- 5.30 As part of the statutory consultation, confirmation was received from the Education Department that capacity is available at Ysgol Chwilog and Ysgol Glan y Môr secondary school. Specifically:
- Ysgol Chwilog: Capacity 95 – Total September 2025 – 87; Projected numbers - September 2026 - 85; September 2027 - 88; September 2028 - 83.
 - Ysgol Glan y Môr: Capacity 732 - Total September 2025 - 457; Projected numbers - September 2026 - 457; September 2027 – 438; September 2028 - 435.
- 5.31 In terms of the situation with local primary education, despite there being capacity in the local school for the likely increase deriving from this development, the development of the site must be considered in its historical and broader context in terms of the educational contribution. Three sites have been designated for constructing new houses in Chwilog, and when these applications were considered (including a previous application on the Cae Capel/Brynhyfryd site), information was submitted by the Joint Planning Policy Unit which assessed the impact of developing this site, along with other sites, on Ysgol Gynradd Chwilog. It was considered essential that the three sites designated for the construction of new houses in the village were considered in terms of the impact on local education.
- 5.32 A full consultation was carried out with the Education Service at the time when the application near the Madryn public house was considered, namely the first application from the three designations, and at the time, the decision was made that the three designated sites needed to be considered based on the numbers in the entire units. This meant that 55 living units were relevant for consideration for the three sites. Therefore, any educational contribution would be based on the proportion of houses designated for the individual sites as part of the figure for Chwilog in its entirety, i.e. 55 units. Using the information at the time, the contribution had to be considered in this manner as the exact numbers were not entirely known as no applications had been submitted for the three sites and as some outline applications have not noted exact numbers.
- 5.33 For consistency, the need to follow the relevant figures as assessed at the time, and as the applications were submitted, was considered. When considering the figure for the Cae Capel/Brynhyfryd site, this figure was added within the 106-agreement completed for application C14/0113/41/AM. It was impossible to anticipate which site would be developed first and that it would not be reasonable for the first developer to pay a higher contribution. Therefore, the decision was made, for fairness, that all contributions would be divided equally so that the three designated site would face the same costs, and to this end, a contribution of £8,914 is needed for this application.
- 5.34 Having assessed the proposal in full in line with all relevant requirements as well as the observations of the education department, it is believed in this case that there is sufficient capacity within local schools, but as explained above, due to the situation as a whole in terms of the other designations, it is believed reasonable to secure a financial contribution in this case. The proposal is considered acceptable and in accordance with the relevant requirements of ISA 1 as well as the relevant guidelines noted within Supplementary Planning Guidance: Planning Obligations. Planning Obligations.

Infrastructure matters

- 5.35 It can be seen from Welsh Water's response that there is confirmation regarding existing services such as sewage and water treatment systems which can cope with this increase in houses within the village.
- 5.36 In line with Welsh Water's recommendation, it is believed that it would be reasonable to ensure that the company's assets are protected and thus, ensure compliance with the relevant requirements of policies PS 2 and ISA 1. It is also noted here that an application for a licence for the SuDS system would need to be submitted to ensure that this is also in line with the relevant requirements.

PLANNING COMMITTEE	DATE: 27/04/2026
REPORT OF THE ASSISTANT HEAD OF DEPARTMENT	

- 5.37 In accordance with the requirements of paragraph 7.6 of Technical Advice Note 15: Development, Flooding and Coastal Erosion, a Drainage Strategy must be submitted as part of an application to outline the drainage plan for surface water from the site, unless a separate application has been made to the approval body, i.e. the Cyngor Gwynedd Land Drainage Unit. Sufficient information has been submitted as part of the application therefore it is considered that the proposal is acceptable and complies with the requirements of TAN 15.

Response to the public consultation

- 5.38 It is acknowledged that objections have been received to this proposal and we consider that all relevant planning matters have been duly addressed as part of the above assessment. The recommendation is made based on a full assessment of all relevant planning considerations, including all the observations received during the public consultation, and nobody was wronged in any way when considering this application.

6. Conclusions:

- 6.1 This is a proposal for affordable housing drawn up to meet the needs of the local housing market and located on a site which, except for one relatively small section, is designated for housing within the development boundary of the village and which has been approved in the past for similar residential developments. As a result, it is believed that the plan is acceptable on the grounds of principle and that it complies with relevant local and national planning policies as noted in the report. Full attention was given to all the observations received and we believe that the proposal is acceptable and, subsequently, is in accordance with the requirements of the relevant policies as noted above.

7. Recommendation:

- 7.1 To delegate the right to the Head of Environment Department to approve the application, subject to a 106 agreement for an educational contribution and play equipment on open land, as well as the following conditions:
1. Time
 2. Development to comply with the approved plans
 3. Must submit and agree on a programme for providing affordable housing
 4. Must agree on external materials including the roofing slates
 5. Removal of Permitted Development Rights
 6. Welsh Water condition/Drainage
 7. Highways Conditions
 8. Biodiversity/NRW conditions
 9. Building Control Plan
 10. A Welsh name for the housing estate and individual houses.
 11. Restrict the use to C3 use class only
 12. Landscaping to be completed

Note: Bat Licence

Cynllun Diwygiedig
Amended Plan



D	UPDATED RED LINE BOUNDARY - LEGALS	23/10/25	OR
C	PAC SUBMISSION	29/07/25	IO
B	EXISTING SITE ANNOTATIONS & FEATURES ADDED	25/02/25	GT
A	RED LINE ADDED TO APPLICATION SITE	29/01/25	GT

REV	DISGRIFIAD/DESCRIPTION	DYDDIAD /DATE	GAN /BY
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PROSIECT/PROJECT
BRYNHYFRYD, CHWILOG
for / i **WILLIAMS HOMES**

TITL Y CYNLLUN/ DRAWING TITLE
CYNLLUN LLEOLIAD SAFLE -
LOCATION PLAN

GRADDFA / SCALE	DYDDIAD/ DATE	DRAWN	CHECKED
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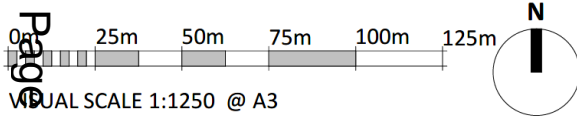
STATWS CYNLLUN / DRAWING STATUS
PLANNING

Rhif JOB No	Rhif CYNLLUN /DRAWING No	ADOLYGIAD /REVISION
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Registered Office: 19 Vicar Street, Hamilton Square, Birmingham CH4 6JF

PRINTED: 23/10/2025 17:20:07





DRYCHIAD STRYD YN WYNEBU'R GOGLEDD AR HYD Y FFORDD FYNEDIAD NEWYDD /

1 | STREET ELEVATION FACING NORTH ALONG NEW ACCESS ROAD

SCALE: 1 : 200



DRYCHIAD STRYD YN WYNEBU'R GOGLEDD /

2 | STREET ELEVATION FACING NORTH

SCALE: 1 : 200



DRYCHIAD STRYD YN WYNEBU'R DWYRAIN TRWY FYNEDFA'R SAFFE /

3 | STREET ELEVATION FACING EAST THROUGH SITE ENTRANCE

SCALE: 1 : 200



DRYCHIAD STRYD YN WYNEBU'R DWYRAIN /

4 | STREET ELEVATION FACING EAST

SCALE: 1 : 200



Many less than housing

6. AGREEMENT TO PROCEED WITH	06/05/23	OK
7. AGREEMENT OF PLOTS FOLLOWING HIGH	16/05/23	OK
8. LANDSCAPE LAYOUT & NEW	27/05/23	OK
9. NORTH EAST BOUNDARY CONSIDERED	27/05/23	OK
10. IMPROVED LANDSCAPE DESIGN REPORTS	28/05/23	OK
11. FINAL AGREEMENT TO PROCEED WITH	30/05/23	OK
12. FINAL AGREEMENT TO PROCEED WITH	30/05/23	OK
13. FINAL AGREEMENT TO PROCEED WITH	30/05/23	OK
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PROJECT REF: BRYNHFRYD, CHWILG for / i WILLIAMS HOMES

DRYCHIAD STRYD & TRIODI SAFFE - STREET ELEVATION & SITE SECTIONS - SHEET 1

OWNER / SCALE	DESIGNER(S)	OWNER	CHECKED
1:200 (A1)	27/05/23	TH	SV
SITE/PROPOSAL	PREPARED BY	DATE	REVISION
PLANNING			
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- G AMENDMENTS TO ROOFSCAPE 02/04/26 OR + ALIGNMENT OF PLOTS FOLLOWING WDR ASSESSMENT
- F LANDSCAPING COORDINATED WITH LANDSTUDIO PROPOSALS 16/12/25 OR
- E NORTH EAST BOUNDARY COORDINATED WITH LANDSTUDIO/ENFYS ECOLOGY 27/11/25 OR
- D UPDATED LANDSCAPE/ECOLOGY FEATURES 24/11/25 OR
- C PAC SUBMISSION 29/07/25 IO
- B 1.8m FENCING TO REAR GARDENS FOLLOWING SBD FEEDBACK 16/07/25 AL

REV	DISGRIFAD/DESCRIPTION	DYDDIAD /DATE	GAN /BY

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PROSIECT/PROJECT
BRYNHYFRYD, CHWILG
 for /i WILLIAMS HOMES

TEITL Y CYNLLUN/ DRAWING TITLE
GOLWG 3D VIEW 4

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 DRAWING STATUS **PLANNING**

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 Registered Office: 1 Price Street, Harroton Square, Birkenhead CH41 6JH

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Williams
Homes (Bala) Ltd

Grŵp Cynefin

May rise that - More than housing

6. AGREEMENT TO PRODUCE A	REVISED	06
STATEMENT OF FACTS FOLLOWING WORK		
APPROVAL		
7. LANDSCAPE LAYOUT PLAN WITH	OK	16/12/23
LANDSCAPE PROPOSALS		
8. NORTH AND SOUTH COASTLINE	OK	27/12/23
CONSENTED		
9. IMPACT LANDSCAPE/ECOLOGY REPORT	OK	20/12/23
10. FINAL LAYOUT	OK	20/12/23
11. FINAL APPROVAL TO BE AGREED	OK	20/12/23
FOLLOWING 15% FEEDBACK		
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PROJECT REF: BRYNHYFRYD, CHWILG
for / i WILLIAMS HOMES
TITLE: CHWILG FRAMEWORK
GOLWG 3D VIEW 3

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6. ASSESSMENT FOR PROPOSAL +	06/04/20	OK
ASSESSMENT OF PLOTS FOLLOWING HIGH		
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7. LANDSCAPING LAYOUT & PLAN WITH	06/04/20	OK
LANDSCAPING PROPOSALS		
8. NORTH EAST SOLAR PANEL COORDINATED	27/03/20	OK
INSTALLATION + LAYOUT PROPOSALS		
9. IMPACTS LANDSCAPING PROPOSALS	24/03/20	OK
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PROJECT REF: BRYNHYFRYD, CHWILOG
 for / i WILLIAMS HOMES
 TITLE: CHWILOG FRAMEWORK
 GOLWG 3D VIEW 1

OWNER / SCALE	DESIGNER	OWNER	DATE
WILLIAMS HOMES	AINSLEY GOMMON ARCHITECTS	WILLIAMS HOMES	06/04/20
STATUS / SCALE	DESIGNER	OWNER	DATE
PLANNING	AINSLEY GOMMON ARCHITECTS	WILLIAMS HOMES	06/04/20
C1158 010			G

AG AINSLEY GOMMON ARCHITECTS

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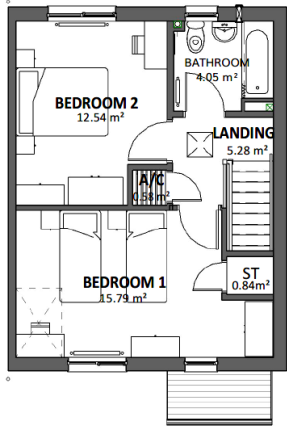
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G	AMENDMENTS TO PROPOSAL & ALIGNMENT OF PROVISIONS WITH	16/03/20
F	LANDSCAPE COORDINATED WITH LANDSCAPE PROPOSALS	27/03/20
E	WITH LANDSCAPE COORDINATED WITH LANDSCAPE PROPOSALS	28/03/20
D	UPDATES TO ROAD CARINGS	28/03/20
C	UPDATES TO ROAD CARINGS	28/03/20
B	UPDATES TO ROAD CARINGS	28/03/20
A	UPDATES TO ROAD CARINGS	28/03/20
REV	DISCONTINUED	28/03/20

PROJECT/CLIENT
BRYNHVRYD, CHWILLOG
for /i WILLIAMS HOMES

TITLE Y CENLLIN/DRAWING TITLE
GOLWIG 3D VIEW 2

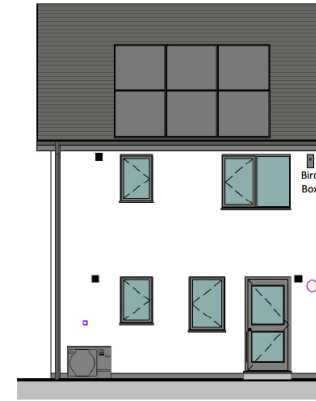
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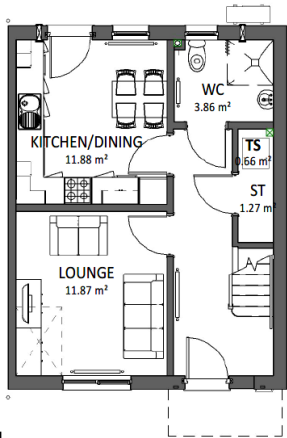
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FIRST FLOOR PLAN
SCALE 1 : 100



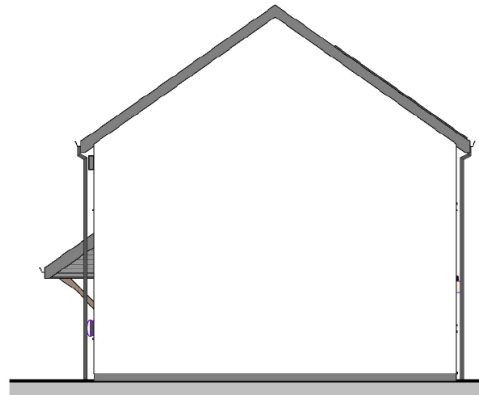
DRYCHIAD BLAEN
FRONT ELEVATION
SCALE 1 : 100



DRYCHIAD CEFN
REAR ELEVATION
SCALE 1 : 100



LLAWR GWAELOD
GROUND FLOOR PLAN
SCALE 1 : 100



DRYCHIAD OCHR
GABLE ELEVATION
SCALE 1 : 100

GWYBODAETH YCHWANEGOL
ADDITIONAL INFORMATION



Area Schedule (GIA) 4P2B	
Floor	Area
00 - GROUND FLOOR	41.29 m ²
01 - FIRST FLOOR	41.29 m ²
Total	82.58 m²

REV	DISGRIFIAD/DESCRIPTION	DYDDIAD /DATE	GAM /BY
C	ECOLOGY FEATURES ADDED	24.11.25	OR
B	PAC ISSUE	29.07.25	AL
A	WG DRAWING ISSUE	15.07.25	AL

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PROSIECT/PROJECT
CHWILOG
for WILLIAMS HOMES

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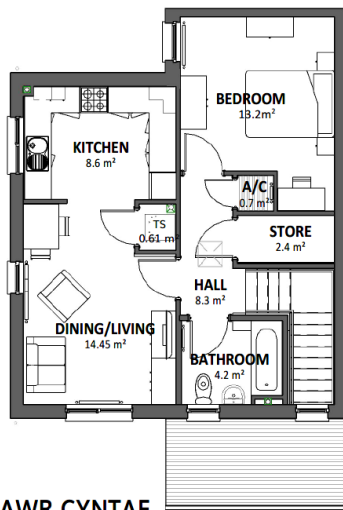
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STATWS CYNLLUN
DRAWING STATUS **PLANNING**

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Ainsley Gomon Architects Ltd. Registered in England & Wales No. 4182764
Registered Office: 1 Price Street, Hamilton Square, Birkenhead CH41 6JH



LLAWR CYNTAF
FIRST FLOOR PLAN
 SCALE 1 : 100

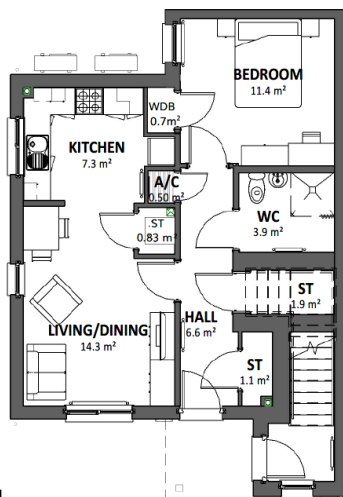


DRYCHIAD BLAEN
FRONT ELEVATION
 SCALE 1 : 100

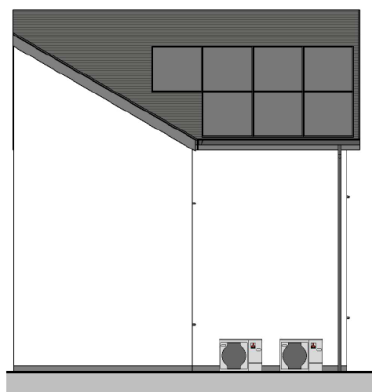


DRYCHIAD OCHR
GABLE / SIDE ELEVATION
 SCALE 1 : 100

Area Schedule (GIA) 2P1B APT	
Name	Area
FIRST FLOOR	55.51 m ²
GROUND FLOOR	51.35 m ²
FIRST FLOOR ENTRANCE	2.35 m ²



LLAWR GWAELOD
GROUND FLOOR PLAN
 SCALE 1 : 100



DRYCHIAD CEFN
REAR ELEVATION
 SCALE 1 : 100

Cynllun Diwygiedig
Amended Plan

Cynllunio
 Derbyn 19.12.25

REV	DISGRIFIAD/DESCRIPTION	DYDDIAD /DATE	GAN /BY
D	ECOLOGY FEATURES ADDED	24.11.25	OR
C	PAC ISSUE	29.07.25	AL
B	WG DRAWING ISSUE	15.07.25	AL
A	REVISED FOLLOWING WG FEEDBACK	11.07.25	AL

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PROSIECT/PROJECT
CHWILOG
 for WILLIAMS HOMES

TITL Y CYNLLUN/ DRAWING TITLE
FFLAT 2 PERSON 1 GWELY - 2P1B FLATS

GRADDFA / SCALE	DYDDIAD / DATE	DRAWN	CHECKED
1 : 100 @A3	17/02/25	TB	SV

STATWS CYNLLUN / DRAWING STATUS
PLANNING

Rhif JOB No /DRAWING No	Rhif CYNLLUN /REVISION	ADOLYGIAD /REVISION
C1158 060	D	D

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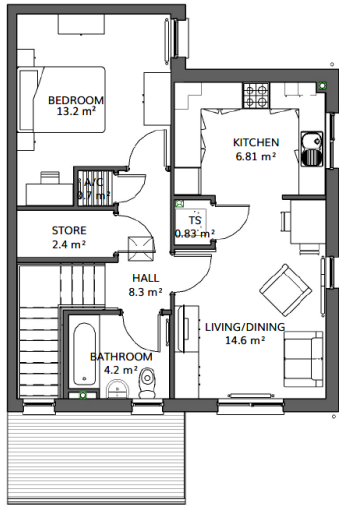
THE OLD POLICE STATION, 15 CLYTHIE WAY, HANMER-LE-VALE, CH5 3HS
 Tel: 01244 527 100 | info@agarchitects.co.uk | www.agarchitects.co.uk
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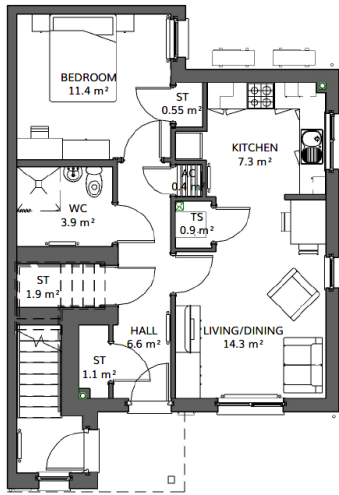
A3



VISUAL SCALE 1:100 @ A3



LLAWR CYNTAF
FIRST FLOOR PLAN
SCALE 1 : 100



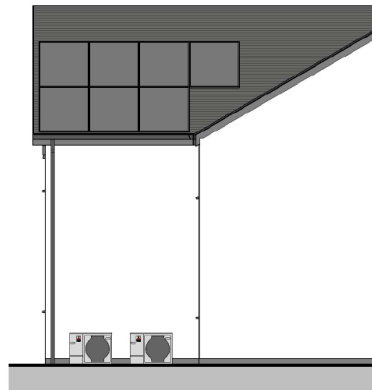
LLAWR GWAELOD
GROUND FLOOR PLAN
SCALE 1 : 100



DRYCHIAD BLAEN
FRONT ELEVATION
SCALE 1 : 100



DRYCHIAD OCHR
GABLE / SIDE ELEVATION
SCALE 1 : 100



DRYCHIAD CEFN
REAR ELEVATION
SCALE 1 : 100

Area Schedule (GIA) 2P1B APT	
Name	Area
FIRST FLOOR	55.51 m ²
GROUND FLOOR	51.35 m ²
FIRST FLOOR ENTRANCE	2.35 m ²

REV	DISGRIFIAD/DESCRIPTION	DYDDIAD /DATE	GAN /BY
D	ECOLOGY FEATURES ADDED	24.11.25	OR
C	PAC ISSUE	29.07.25	AL
B	WG DRAWING ISSUE	15.07.25	AL
A	REVISED FOLLOWING WG FEEDBACK	11.07.25	AL

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PROSIECT/PROJECT
CHWILOG
for WILLIAMS HOMES

TITL Y CYNLLUN/ DRAWING TITLE
FFLAT 2 PERSON 1 GWELY - 2P1B FLATS (HANDED)

Cynllun Diwygiedig
Amended Plan

Cynllunio
Derbyn 19.12.25

GRADDFA / SCALE	DYDDIAD/ DATE	DRAWN	CHECKED
1 : 100 @A3	17/02/25	OR	SV

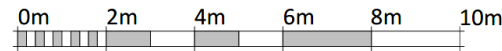
STATWS CYNLLUN / DRAWING STATUS	PLANNING
Rhif JOB No /DRAWING No	ADOLYGIAD /REVISION
C1158 061	D

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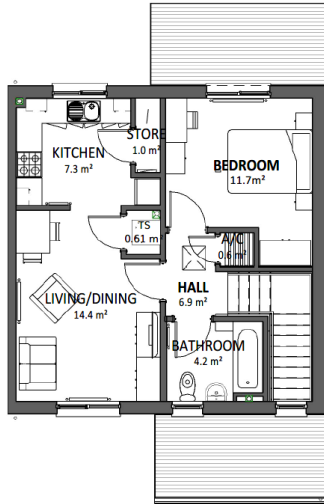
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VISUAL SCALE 1:100 @ A3

Area Schedule (GIA) 2P1B APT...	
Name	Area

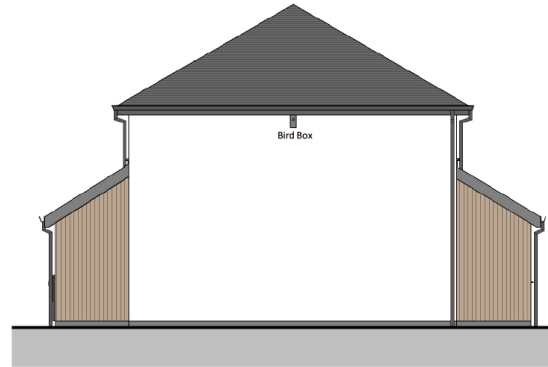
FIRST FLOOR ENTRANCE	2.32 m ²
FIRST FLOOR.	50.11 m ²
GROUND FLOOR.	52.56 m ²



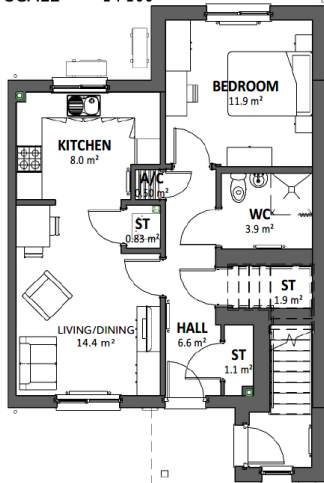
LLAWR CYNTAF
FIRST FLOOR PLAN
SCALE 1 : 100



DRYCHIAID BLAEN
FRONT ELEVATION
SCALE 1 : 100



DRYCHIAID OCHR
GABLE ELEVATION
SCALE 1 : 100



LLAWR GWAELOD
GROUND FLOOR PLAN
SCALE 1 : 100



DRYCHIAID CEFN
REAR ELEVATION
SCALE 1 : 100

Cynllun Diwygiedig
Amended Plan

Cynllunio
Derbyn 19.12.25

REV	DISGRIFIAD/DESCRIPTION	DYDDIAD /DATE	GAN /BY
D	ECOLOGY FEATURES ADDED	24.11.25	OR
C	PAC ISSUE	29.07.25	AL
B	WIG DRAWING ISSUE	15.07.25	AL
A	REVISED FOLLOWING WIG FEEDBACK	11.07.25	AL

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PROSPECT/PROJECT
CHWILLOG
for WILLIAMS HOMES

TEITL Y CYNLLUN/ DRAWING TITLE
FFLAT 2 PERSON 1 GWELY
TO TALCEN SLIP -
2P1B FLATS HIPPED GABLE

GRADDFA / SCALE	DYDDIAD / DATE	DRAWN	CHECKED
1 : 100 @A3	17/02/25	TB	SV

STATWS CYNLLUN
DRAWING STATUS **PLANNING**

Rhif JOB No	Rhif CYNLLUN /DRAWING No	ADOLYGIAD /REVISION
C1158	062	D

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Registered Office: 1 Park Street, Haverhill Square, 20 Ainslie Street, Glasgow

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A3

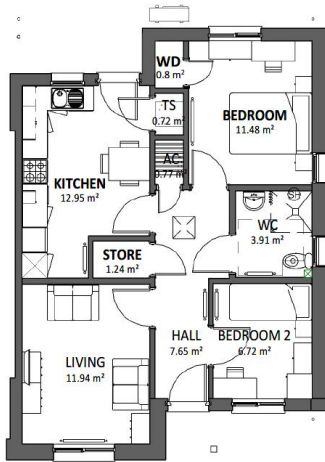


VISUAL SCALE 1:100 @ A3

Cynllun Diwygiedig Amended Plan

Cynllunio

Dertyn 19.12.25



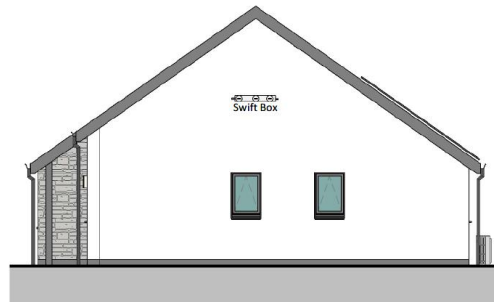
LLAWR GWAELOD
GROUND FLOOR PLAN
SCALE 1 : 100



DRYCHIAD BLAEN
FRONT ELEVATION
SCALE 1 : 100



DRYCHIAD CEFN
REAR ELEVATION
SCALE 1 : 100



DRYCHIAD OCHR
GABLE ELEVATION
SCALE 1 : 100

Plot / Plot #4

Area Schedule (GIA)...

Area

61.14 m²

REV	DISGRIFAD/DESCRIPTION	DYDDIAD /DATE	GAM /BY
D	ECOLOGY FEATURES ADDED	24.11.25	DR
C	PAC ISSUE	29.07.25	AL
B	WG DRAWING ISSUE	15.07.25	AL
A	REVISED FOLLOWING WG FEEDBACK	11.07.25	AL

REV	DISGRIFAD/DESCRIPTION	DYDDIAD /DATE	GAM /BY

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PROSIECT/PROJECT
CHWILOG
for WILLIAMS HOMES

TITL Y CYNLLUN/ DRAWING TITLE
BYNGALO 3 PERSON 2 WELY
- 3P2B BUNGALOW

GRADDFA / SCALE	DYDDIAD / DATE	DRAWN	CHECKED
1 : 100 @A3	13/02/25	TB	SV

STATWS CYNLLUN / DRAWING STATUS
PLANNING

Rhif JOB No	Rhif CYNLLUN /DRAWING No	ADOLYGIAD /REVISION
C1158	066	D

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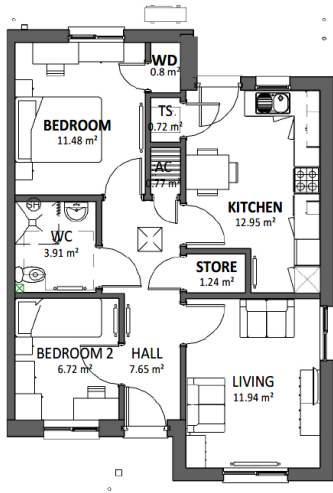
A3



VISUAL SCALE 1:100 @ A3

Cynllun Diwygiedig Amended Plan

Cynllunio
Derbyn 19.12.25



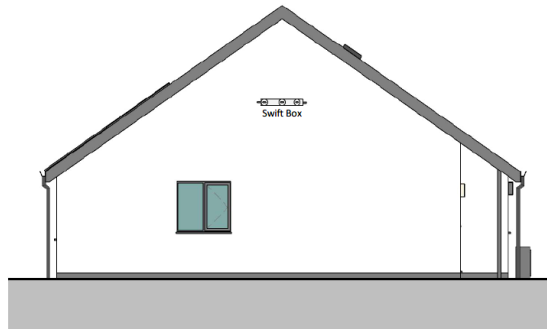
LLAWR GWAELOD
GROUND FLOOR PLAN
SCALE 1 : 100



DRYCHIAD BLAEN
FRONT ELEVATION
SCALE 1 : 100



DRYCHIAD CEFN
REAR ELEVATION
SCALE 1 : 100



DRYCHIAD OCHR
SIDE ELEVATION
SCALE 1 : 100



VISUAL SCALE 1:100 @ A3

Plot / Plot #19

Area Schedule (GIA)...

Area

61.14 m²

D	ECOLOGY FEATURES ADDED	24.11.25	OR
C	PAC ISSUE	29.07.25	AL
B	WG DRAWING ISSUE	15.07.25	AL
A	REVISED FOLLOWING WG FEEDBACK	11.07.25	AL

REV	DISGRIFIAD/DESCRIPTION	DYDDIAD /DATE	GAR /BY
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PROSIECT/PROJECT
CHWIOLOG
for WILLIAMS HOMES

TEITL Y CYNLLUN/ DRAWING TITLE
BYNGALO 3 PERSON 2 WELY
- 3P2B BUNGALOW
(HANDED)

GRADDFA / SCALE	DYDDIAD/ DATE	DRAWN	CHECKED
1 : 100 @A3	02/02/25	TB	SV

STATWS CYNLLUN
DRAWING STATUS

PLANNING

Rhif JOB No	Rhif CYNLLUN /DRAWING No	ADOLYGIAD /REVISION
C1158	067	D

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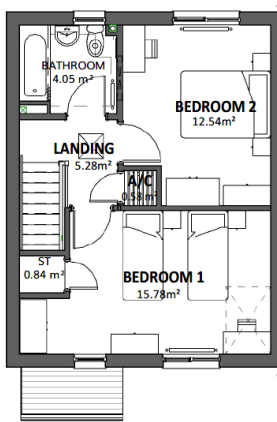
THE OLD POLICE STATION, 15 GLYNNE WAY, HARWARDEN, CH5 3HS
The Old Police Station, 15 Glynne Way, Harwarden, CH5 3HS
The Old Police Station, 15 Glynne Way, Harwarden, CH5 3HS
The Old Police Station, 15 Glynne Way, Harwarden, CH5 3HS

PRINTED: 24/11/2025 10:33:33

A3

Area Schedule (GIA) 4P2B	
Floor	Area

00 - GROUND FLOOR	41.29 m ²
01 - FIRST FLOOR	41.29 m ²
Total	82.58 m²



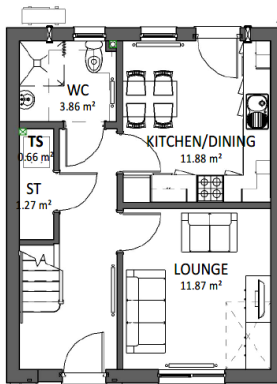
LLAWR CYNTAF
FIRST FLOOR PLAN
SCALE 1 : 100



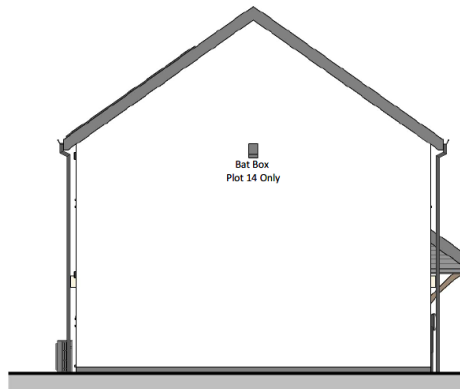
DRYCHIAD BLAEN
FRONT ELEVATION
SCALE 1 : 100



DRYCHIAD CEFN
REAR ELEVATION
SCALE 1 : 100



LLAWR GWAELOD
GROUND FLOOR PLAN
SCALE 1 : 100



DRYCHIAD OCHR
SIDE ELEVATION
SCALE 1 : 100



Cynllun Diwygiedig
Amended Plan

D	ECOLOGY FEATURES ADDED	24.11.25	GR
C	PAC ISSUE	29.07.25	AL
B	WG DRAWING ISSUE	15.07.25	AL
A	REVISED FOLLOWING WG FEEDBACK	11.07.25	AL

REV	DISGRIFIAD/DESCRIPTION	DYDDIAD /DATE	GAN /BY
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PROSIECT/PROJECT
CHWILOG
for WILLIAMS HOMES

TEITL Y CYNLLUN/ DRAWING TITLE
Tŷ 4 PERSON 2 WELY
GRISIAU I'R TALCEN -
4P2B HOUSE STAIR TO
GABLE

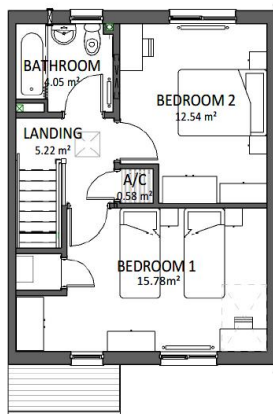
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1 : 100 @A3	17/02/25	TB	SV

STATWS CYNLLUN
DRAWING STATUS
PLANNING

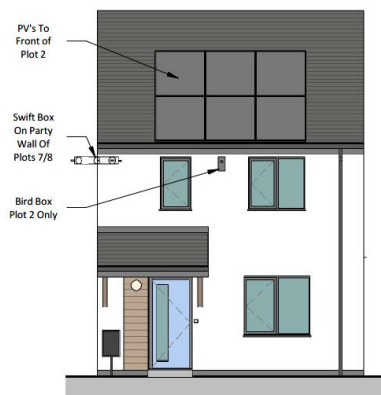
Rhif JOB No	Rhif CYNLLUN /DRAWING No	ADOLYGIAD /REVISION
C1158	072	D

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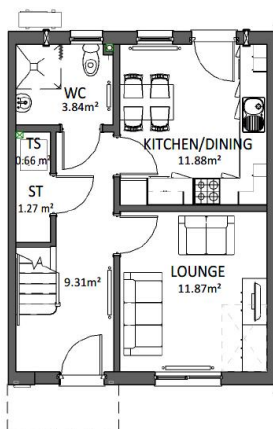
LLAWR CYNTAF
FIRST FLOOR PLAN
 SCALE 1 : 100



DRYCHIAD BLAEN
FRONT ELEVATION
 SCALE 1 : 100



DRYCHIAD CEFN
REAR ELEVATION
 SCALE 1 : 100



LLAWR GWAELOD
GROUND FLOOR PLAN
 SCALE 1 : 100

Cynllun Diwygiedig
Amended Plan



Area Schedule (GIA) 4P2B	
Floor	Area
00 - GROUND FLOOR	41.29 m ²
01 - FIRST FLOOR	41.29 m ²
Total	82.58 m²

REV	DISGRIFIAD/DESCRIPTION	DYDDIAD /DATE	GAN /BY
D	ECOLOGY FEATURES ADDED	24.11.25	OR
C	PAC ISSUE	29.07.25	AL
B	WG DRAWING ISSUE	15.07.25	AL
A	REVISED FOLLOWING WG FEEDBACK	11.07.25	AL

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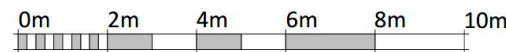
PROJECT/PROJECT
CHWILLOG
 for WILLIAMS HOMES

TITL Y CYNLLUN/ DRAWING TITLE
Tŷ 4 PERSON 2 WELY
GANOL TERAS -
4P2B HOUSE MID TERRACE

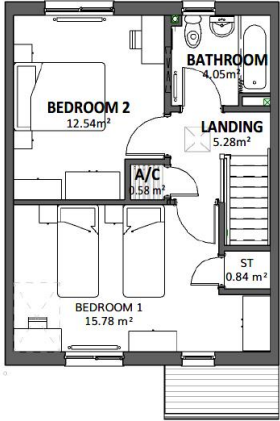
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1 : 100 @A3	17/02/25		

STATWS CYNLLUN DRAWING STATUS
PLANNING

Rhif JOB No	Rhif CYNLLUN /DRAWING No	ADOLYGIAD /REVISION
C1158	075	D



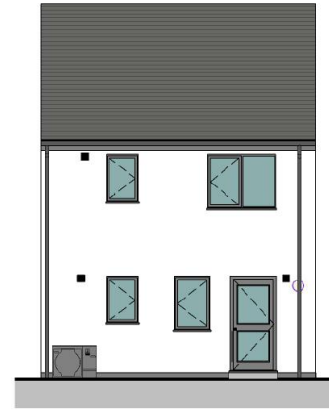
VISUAL SCALE 1:100 @ A3



LLAWR CYNTAF
FIRST FLOOR PLAN
 SCALE 1 : 100

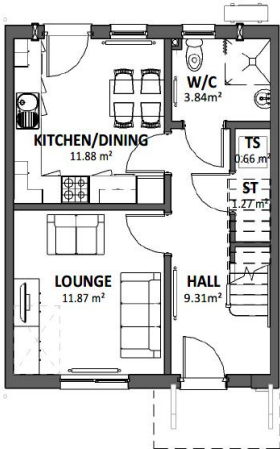


DRYCHIAD BLAEN
FRONT ELEVATION
 SCALE 1 : 100



DRYCHIAD CEFN
REAR ELEVATION
 SCALE 1 : 100

Area Schedule (GIA) 4P2B	
Floor	Area
00 - GROUND FLOOR	41.29 m ²
01 - FIRST FLOOR	41.29 m ²
Total	82.58 m²



LLAWR GWAELOD
GROUND FLOOR PLAN
 SCALE 1 : 100

D	PLANNING ISSUE	24.11.25	OR
C	PAC ISSUE	29.07.25	AL
B	WG DRAWING ISSUE	15.07.25	AL
A	REVISED FOLLOWING WG FEEDBACK	11.07.25	AL
REV	DISGRIFIAD/DESCRIPTION	DYDDIAD /DATE	GAN /BY

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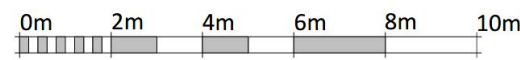
PROSIECT/PROJECT
CHWILOG
 for WILLIAMS HOMES

TITL Y CYNLLUN/ DRAWING TITLE
TY 4 PERSON 2 WELY
GANOL TERAS -
4P2B MID TERRACE
 (HANDED)

Cynllun Diwygiedig
Amended Plan

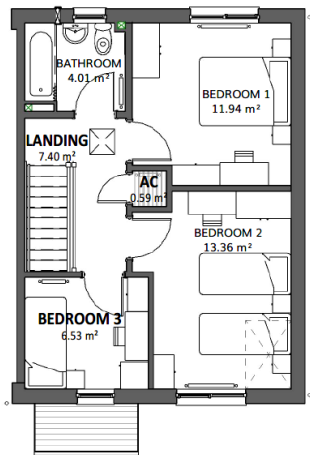


GRADDFA / SCALE	DYDDIAD / DATE	DRAWN	CHECKED
1 : 100 @A3	17/02/25	TB	SV
STATWS CYNLLUN / DRAWING STATUS		PLANNING	
Rhif JOB No C1158	Rhif CYNLLUN /DRAWING No 076	ADOLYGIAD /REVISION D	



VISUAL SCALE 1:100 @ A3





LLAWR CYNTAF
FIRST FLOOR PLAN
 SCALE 1 : 100

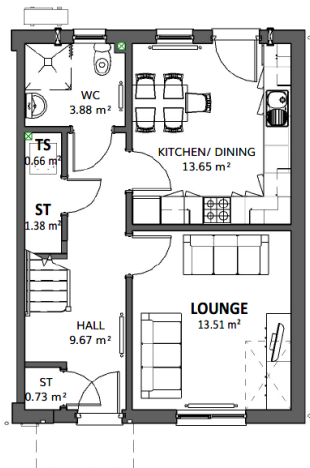


DRYCHIAD BLAEN
FRONT ELEVATION
 SCALE 1 : 100

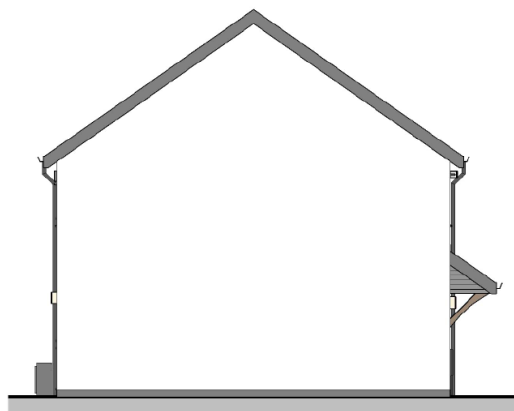


DRYCHIAD CEFN
REAR ELEVATION
 SCALE 1 : 100

Area Schedule (GIA) 5P3B	
Level	Area
00 - GROUND FLOOR	46.28 m ²
01 - FIRST FLOOR	46.28 m ²
Total	92.56 m²



LLAWR GWAELOD
FLEXIBLE GROUND FLOOR PLAN
 SCALE 1 : 100



DRYCHIAD OCHR
SIDE ELEVATION
 SCALE 1 : 100



Cynllun Diwygiedig
Amended Plan

D	PLANNING ISSUE	24.11.25	OR
C	PAC ISSUE	29.07.25	AL
B	WG DRAWING ISSUE	15.07.25	AL
A	REVISED FOLLOWING WG FEEDBACK	11.07.25	AL

REV	DISGRIFIAD/DESCRIPTION	DYDDIAD /DATE	GAN /BY

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PROSIECT/PROJECT
CHWILOG
 for WILLIAMS HOMES

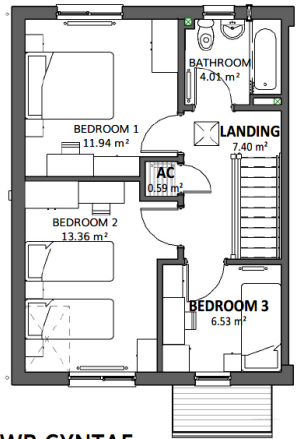
TEITL Y CYNLLUN/ DRAWING TITLE
Tŷ 5 PERSON 3 GWELY -
5P3B HOUSE

GRADDFA / SCALE	DYDDIAD/ DATE	DRAWN	CHECKED
1 : 100 @A3	17/02/25	TB	SV

STATWS CYNLLUN / DRAWING STATUS	PLANNING
Rhif JOB No /DRAWING No	ADOLYGIAD /REVISION
C1158 /080	D



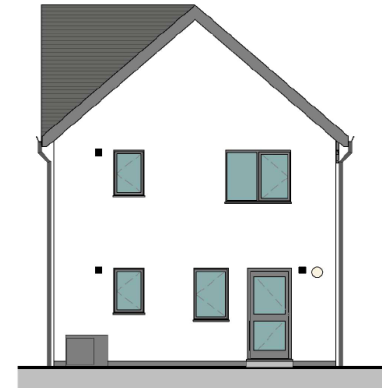
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LLAWR CYNTAF
FIRST FLOOR PLAN
 SCALE 1 : 100



DRYCHIAD BLAEN
FRONT ELEVATION
 SCALE 1 : 100



DRYCHIAD CEFN
REAR ELEVATION
 SCALE 1 : 100

Area Schedule (GIA) 5P3B

Level	Area
00 - GROUND FLOOR	46.28 m ²
01 - FIRST FLOOR	46.28 m ²
Total	92.56 m²

REV	DISGRIFIAD/DESCRIPTION	DYDDIAD /DATE	GAN /BY
C	ECOLOGY FEATURES ADDED	24.11.25	OR
B	PAC ISSUE	29.07.25	AL
A	WG DRAWING ISSUE	15.07.25	AL

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PROSIECT/PROJECT
CHWILOG
 for WILLIAMS HOMES

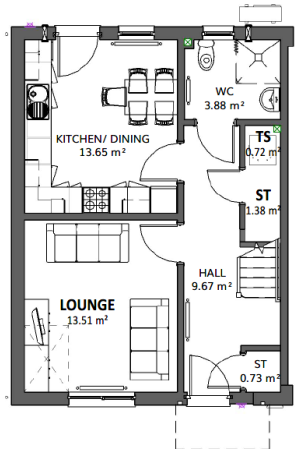
TEITL Y CYNLLUN/ DRAWING TITLE
Tŷ 5 PERSON 3 GWELY
TALCEN FLAEN -
5P3B HOUSE FRONT GABLE
(HANDED)

GRADDFA / SCALE	DYDDIAD/ DATE	DRAWN	CHECKED
1 : 100 @A3	17/02/25	TB	SV

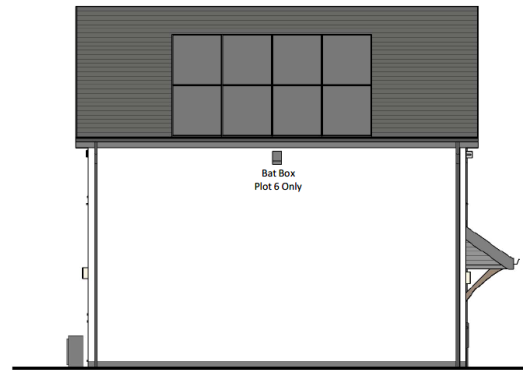
STATWS CYNLLUN / DRAWING STATUS	PLANNING
Rhif JOB No C1158	Rhif CYNLLUN /DRAWING No 083
	ADOLYGIAD /REVISION C



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LLAWR GWAELOD
GROUND FLOOR PLAN
 SCALE 1 : 100



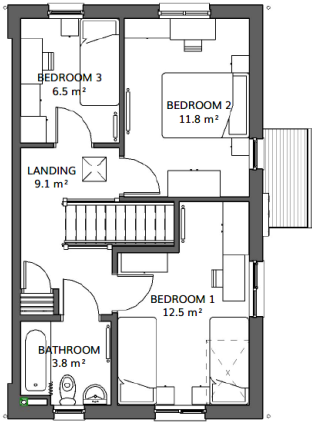
DRYCHIAD OCHR
SIDE ELEVATION
 SCALE 1 : 100



Plot / Plot #1

Area Schedule (GIA) 5P3B SE

Level	Area
00 - GROUND FLOOR	46.58 m ²
01 - FIRST FLOOR	46.58 m ²
Total	93.17 m²



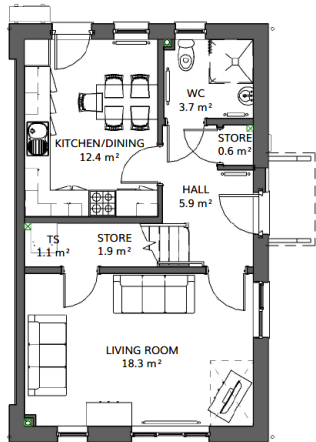
LLAWR CYNTAF
FIRST FLOOR PLAN
SCALE 1 : 100



DRYCHIAD BLAEN
FRONT ELEVATION
SCALE 1 : 100



DRYCHIAD CEFN
REAR ELEVATION
SCALE 1 : 100



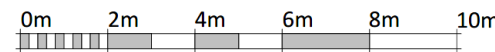
LLAWR GWAELOD
GROUND FLOOR PLAN
SCALE 1 : 100



DRYCHIAD OCHR - MYNEDIAD
SIDE ELEVATION - ENTRANCE
SCALE 1 : 100



Cynllun Diwygiedig
Amended Plan



VISUAL SCALE 1:100 @ A3

REV	DISGRIFIAD/DESCRIPTION	DYDDIAD /DATE	GAM /BY
D	ECOLOGY FEATURES ADDED	24.11.25	OR
C	PAC ISSUE	29.07.25	AL
B	WC DRAWING ISSUE	15.07.25	AL
A	REVISED FOLLOWING WG FEEDBACK	11.07.25	AL

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PROSIECT/PROJECT
CHWILOG
for WILLIAMS HOMES

TEITL Y CYNLLUN/ DRAWING TITLE
Tŷ 5 PERSON 3 GWELY
MYNEDIAD OCHR -
5P3B SIDE ENTRY

GRADDFA / SCALE	DYDDIAD/ DATE	DRAWN IO	CHECKED SV
1 : 100 @A3	17/02/25		

STATWS CYNLLUN
DRAWING STATUS

PLANNING

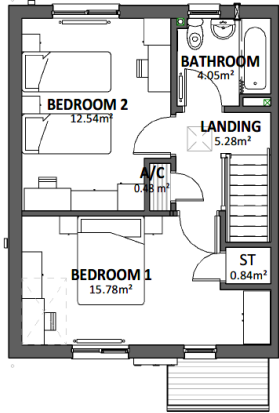
Rhif JOB No	Rhif CYNLLUN /DRAWING No	ADOLYGIAD /REVISION
C1158	085	D



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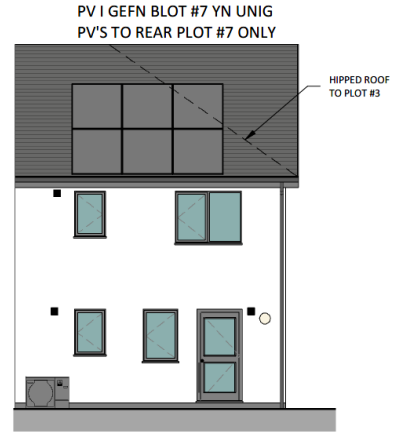
A3



LLAWR CYNTAF
FIRST FLOOR PLAN
SCALE 1 : 100



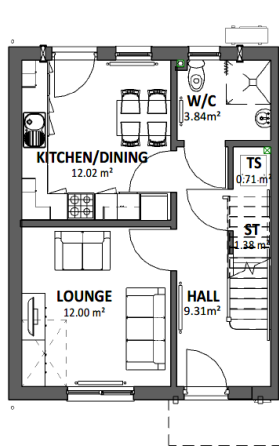
DRYCHYAD BLAEN PLOTIAU #7 & 18
FRONT ELEVATION PLOTS #7 & 18
SCALE 1 : 100



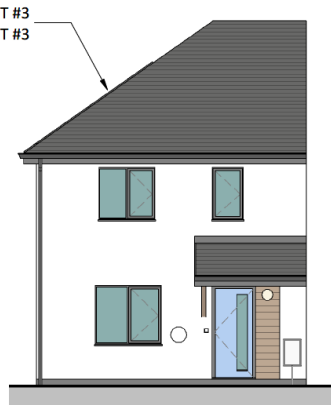
DRYCHYAD CEFN
REAR ELEVATION
SCALE 1 : 100

Plotiau / Plots #3, 7, 18

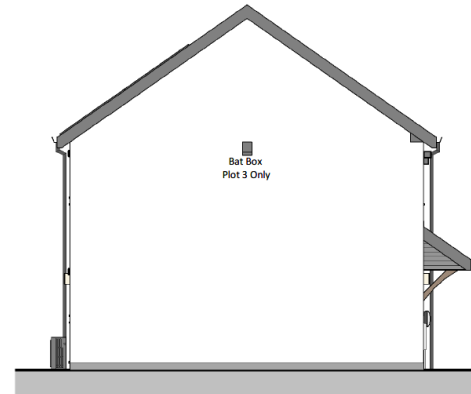
Area Schedule (GIA) 4P2B	
Floor	Area
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01 - FIRST FLOOR	41.05 m ²
Total	82.11 m²



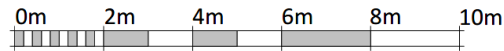
LLAWR GWAELOD
GROUND FLOOR PLAN
SCALE 1 : 100



DRYCHYAD BLAEN PLOT #3
FRONT ELEVATION PLOT #3
SCALE 1 : 100



DRYCHYAD OCHR
GABLE ELEVATION
SCALE 1 : 100



VISUAL SCALE 1:100 @ A3

REV	DISGRIFIAD/DESCRIPTION	DYDDIAD /DATE	GAN /BY
E	AMENDMENTS FOLLOWING WDR ASSESSMENT	31.03.26	OR
D	ECOLOGY FEATURES ADDED	24.11.25	OR
C	PAC ISSUE	29.07.25	AL
B	WG DRAWING ISSUE	15.07.25	AL
A	REVISED FOLLOWING WG FEEDBACK	11.07.25	AL

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PROSIECT/PROJECT
CHWILOG
for WILLIAMS HOMES

TEITL Y CYNLLUN/ DRAWING TITLE
Tŷ 4 PERSON 2 WELY - 4P2B HOUSE (HANDDED)

GRADDFA / SCALE	DYDDIAD / DATE	DRAWN	CHECKED
1 : 100 @A3	17/02/25	TB	SV

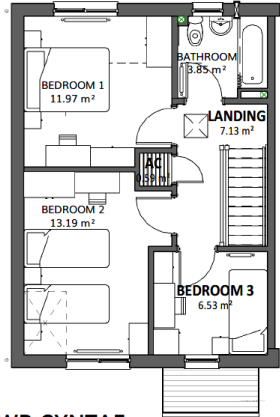
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PLANNING		
Rhif JOB No	Rhif CYNLLUN /DRAWING No	ADOLYGIAD /REVISION
C1158	071	E



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A3



LLAWR CYNTAF
FIRST FLOOR PLAN
 SCALE 1 : 100



DRYCHYAD BLAEN
FRONT ELEVATION
 SCALE 1 : 100



DRYCHYAD CEFN
REAR ELEVATION
 SCALE 1 : 100

Area Schedule (GIA) 5P3B	
Level	Area
00 - GROUND FLOOR	45.72 m ²
01 - FIRST FLOOR	45.72 m ²
Total	91.44 m²

REV	DISGRIFIAD/DESCRIPTION	DYDDIAD /DATE	GAM
E	AMENDMENTS FOLLOWING WDR ASSESSMENT	31.03.26	DR
D	ECOLOGY FEATURES ADDED	24.11.25	DR
C	PAC ISSUE	29.07.25	AL
B	WIG DRAWING ISSUE	15.07.25	AL
A	REVISED FOLLOWING WG FEEDBACK	11.07.25	AL

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PROSIECT/PROJECT
CHWILOG
 for WILLIAMS HOMES

TEITL Y CYLLUN/ DRAWING TITLE
Tŷ 5 PERSON 3 GWELY -
5P3B HOUSE (HANDED)

GRADDF/A SCALE	DYDDIAD/ DATE	DRAWN	CHECKED
1 : 100 @A3	17/02/25	TB	SV

STATWS CYLLUN
 DRAWING STATUS **PLANNING**

Rhif JOB No	Rhif CYLLUN /DRAWING No	ADOLYGIAD /REVISION
C1158	081	E

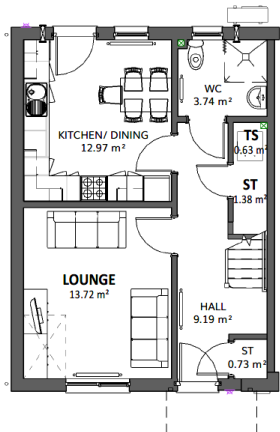


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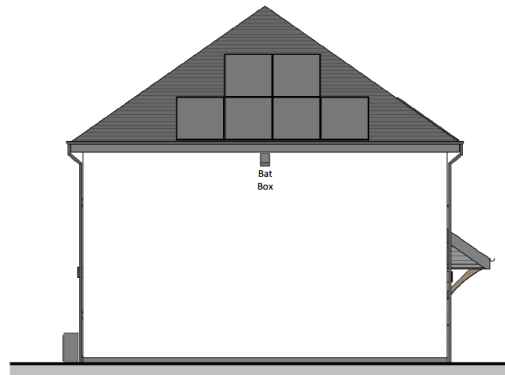
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A3



LLAWR GWAELOD
GROUND FLOOR PLAN
 SCALE 1 : 100

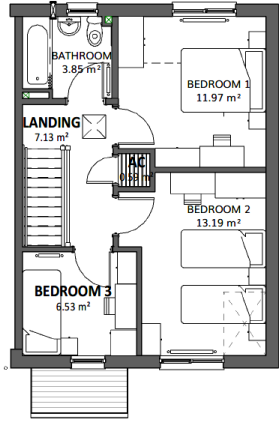


DRYCHYAD OCHR
SIDE ELEVATION
 SCALE 1 : 100

Plotiau / Plot #9, #13 & #15

Area Schedule (GIA) 5P3B

Level	Area
00 - GROUND FLOOR	45.72 m ²
01 - FIRST FLOOR	45.72 m ²
Total	91.44 m²



LLAWR CYNTAF
FIRST FLOOR PLAN
SCALE 1 : 100



DRYCHYAD BLAEN
FRONT ELEVATION
SCALE 1 : 100



DRYCHYAD CEFN
REAR ELEVATION
SCALE 1 : 100

REV	DISGRIFIAD/DESCRIPTION	DYDDIAD /DATE	GAI /BY
E	AMENDMENTS FOLLOWING WOR ASSESSMENT	31.03.26	OR
D	ECOLOGY FEATURES ADDED	24.11.25	OR
C	PAC ISSUE	29.07.25	AL
B	WG DRAWING ISSUE	15.07.25	AL
A	REVISED FOLLOWING WG FEEDBACK	11.07.25	AL

REV	DISGRIFIAD/DESCRIPTION	DYDDIAD /DATE	GAI /BY

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PROJECT/PROJECT
CHWILOG
for WILLIAMS HOMES

TEITL Y CYNLLUN/ DRAWING TITLE
Tŷ 5 PERSON 3 GWELY
TALCEN FLAEN -
5P3B HOUSE FRONT GABLE

GRADDFA / SCALE	DYDDIAD / DATE	DRAWN	CHECKED
1 : 100 @A3	17/02/25	TB	SV

STATWS CYNLLUN
DRAWING STATUS **PLANNING**

Rhif JOB No	Rhif CYNLLUN /DRAWING No	ADOLYGIAD /REVISION
C1158	082	E

AG **A** **AINSLEY GOMMON ARCHITECTS**

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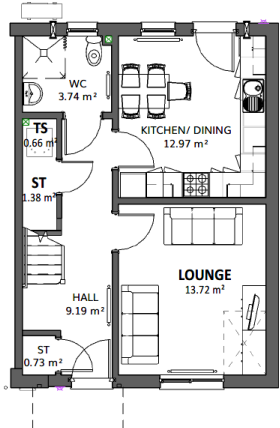
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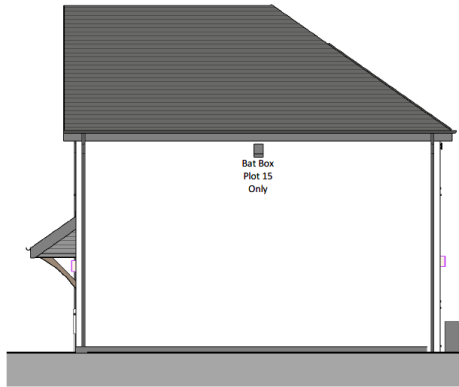
Registered Office: 1 Prior Street, Hamilton Square, Birmingham B4H 1LN

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A3



LLAWR GWAELOD
GROUND FLOOR PLAN
SCALE 1 : 100



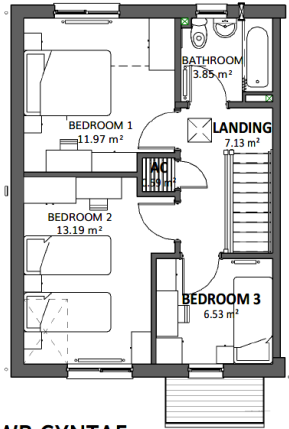
DRYCHYAD OCHR
SIDE ELEVATION
SCALE 1 : 100



VISUAL SCALE 1:100 @ A3

Area Schedule (GIA) 5P3B	
Level	Area

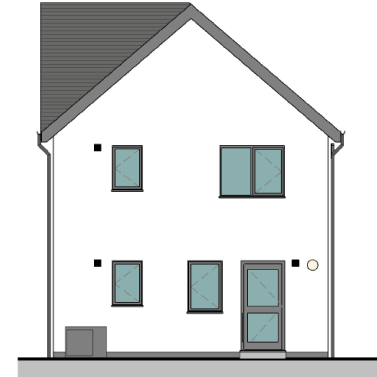
00 - GROUND FLOOR	45.72 m ²
01 - FIRST FLOOR	45.72 m ²
Total	91.44 m²



LLAWR CYNTAF
FIRST FLOOR PLAN
 SCALE 1 : 100



DRYCHYAD BLAEN
FRONT ELEVATION
 SCALE 1 : 100



DRYCHYAD CEFN PLOT #6
REAR ELEVATION PLOT #6
 SCALE 1 : 100

D	AMENDMENTS FOLLOWING WDR ASSESSMENT	31.03.26	OR
C	ECOLOGY FEATURES ADDED	24.11.25	OR
B	PAC ISSUE	29.07.25	AL
A	WG DRAWING ISSUE	15.07.25	AL

REV	DISGRIFIAD/DESCRIPTION	DYDDIAD /DATE	GAW /BY
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PROSPECT/PROJECT
CHWILOG
 for WILLIAMS HOMES

TEITL Y CYNLLUN / DRAWING TITLE
Tŷ 5 PERSON 3 GWELY
TALCEN FLAEN -
5P3B HOUSE FRONT GABLE
(HANDED)

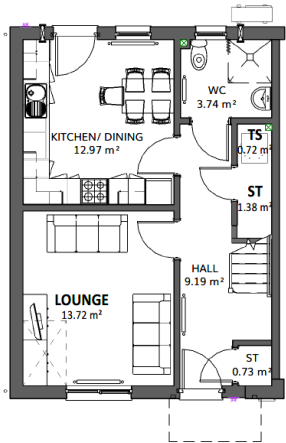
GRADDFA / SCALE	DYDDIAD / DATE	DRAWN	CHECKED
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STATWS CYNLLUN / DRAWING STATUS
PLANNING

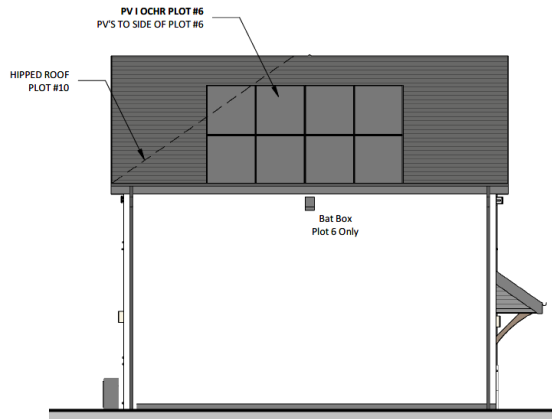
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C1158	083	D

AG AINSLEY GOMMON ARCHITECTS

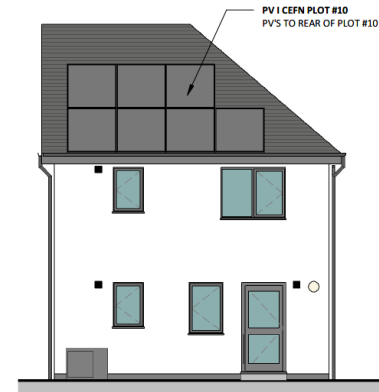
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LLAWR GWAELOD
GROUND FLOOR PLAN
 SCALE 1 : 100



DRYCHYAD OCHR
SIDE ELEVATION
 SCALE 1 : 100



DRYCHYAD CEFN PLOT #10
REAR ELEVATION PLOT #10
 SCALE 1 : 100







PLANNING COMMITTEE	DATE: 27/04/2026
REPORT BY ASSISTANT HEAD OF DEPARTMENT	

Number: 5

Application Number: C25/0947/25/EIA

Date Registered: 29/12/2025

Application Type: Environmental Impact Assessment

Community: Pentir

Ward: Y Faenol

Proposal: Replacing existing underground cables and the installation of new cross-site underground cables at the current Pentir substation as well as associated works.

Location: Pentir Substation, Bangor, LL57 4ED

Summary of the Recommendation: TO APPROVE WITH CONDITIONS

PLANNING COMMITTEE	DATE: 27/04/2026
REPORT BY ASSISTANT HEAD OF DEPARTMENT	

1. Description:

- 1.1 This application is for the replacement of existing underground cables and the installation of new cross-site underground cables to the existing Pentir substation as well as associated works.
- 1.2 This proposal is part of a wider project to reinforce overhead lines and cables on the existing circuits between the Pentir and Trawsfynydd substations in north-west Wales. The Project is part of the broader network transmission upgrades needed to facilitate the connection of 50 Gigawatts (GW) of offshore wind energy by 2030. Increasing capacity on the existing transmission line between Pentir and Trawsfynydd substations has been identified as a step that urgently needs to be taken to provide more transmission capacity. This is acknowledged by Ofgem (Great Britain's energy regulator), who have identified the necessary works as an Accelerated Strategic Transmission Investment (ASTI).
- 1.3 Full planning permission is required from the relevant Local Planning Authority for the following as part of the project:

Bryncir - New substation south of the village of Bryncir and associated infrastructure, and supporting works, including a new access road from the A487 and upgrades to an existing agricultural access track, and new 132 kV underground cables linking to the existing Electricity Networks overhead line. A planning application has been submitted under the reference C25/0949/36/EIA.

Glaslyn Cables - an extension to the existing Wern Cables Sealing End Compound (CSEC) including new permanent access; Cables Sealing End Compound and new Minffordd Tunnel Head House with permanent access; removal of the existing Garth Cable Sealing End Compound; replacement of 400 kV cables and redundant 32 kV cables with new 400 kV cables; and infrastructure related to other ancillary work. A planning application has been submitted under the reference C25/0947/25/EIA.

Trawsfynydd - Installation of new underground cables and cable sealing ends, a shunt reactor and gantries and widening of part of the existing access road in the fenced compound at Trawsfynydd substation and supporting works. This site falls within the Eryri National Park area and a planning application has been submitted to the Park's Authority.

Section 37 consent will be required under the Electricity Act 1989 for the following (the following are not subject to planning applications):

Bryncir - Replacement of Tower 4ZC067 and cables at the proposed Bryncir Sub-station. Installing a fibre optic cable.

Bryncir - Installation of a new 132kV overhead line (for part of route) to link the existing SPEN DB route to Bryncir Substation, and remove the redundant section of the SPEN DB route.

Trawsfynydd - To amend the existing cables of Tower 4ZC005, create a new gantry at the substation, and make changes to the alignment of the south-west boundary fence of the substation enclosure. (This site falls within the Eryri National Park area).

- 1.4 The application is for works within the existing compound of the Pentir substation and would involve the removal of underground cables and the laying of new underground cables across the site

PLANNING COMMITTEE	DATE: 27/04/2026
REPORT BY ASSISTANT HEAD OF DEPARTMENT	

along with associated works to include the installation of new cable sealing ends and associated steel structures. The existing Capacitive Voltage Transformers, which have supporting structures, will be moved from the current location to the other side of the circuit (to accommodate the additional set of cable sealing ends). In addition, a section of the bus bar will be replaced, overhead line collapsing equipment will be replaced, an earthing switch will be installed and above-ground and underground grounding work will be carried out.

- 1.5 Full planning permission is sought for this work, however, apart from the wider Project, this proposed work would be permitted development under Schedule 2, Class G, Part 17 of the Town and Country Planning (General Permitted Development) Order 1995 (as amended) (GDPO 1995), which applies to Wales. Class G applies to electricity undertakings and sets out the work carried out by statutory undertakers for the generation, transmission or supply of electricity for the purposes of their undertaking. The Applicant is a statutory undertaker and therefore benefits from deemed consent given by Class G(a). Permitted development under Class G(a) includes "the installation or replacement in, on, over or under land of an electric line and the construction of shafts and tunnels and the installation or replacement of feeder or service pillars or transforming or switching stations or chambers reasonably necessary in connection with an electric line.
- 1.6 However, article 3 (10) of GDPO 1995 (as amended) confirms that the Order does not permit development if it is a Schedule 2 development within the meaning of the Town and Country Planning (Environmental Impact Assessment) (Wales) Regulations 2017. The proposed works are part of the wider Project, and part of it (namely the replacement of high voltage electricity cables under the Glaslyn) is an Environmental Impact Assessment (EIA) development as confirmed under reference C24/0806/08/SC, and therefore the works which are part of the wider project and specifically proposed here do not benefit from the right as permitted development under Class G, Part 17 of GDPO Schedule 2 1995 (as amended). Full planning permission is required for the proposed works for this reason.
- 1.7 The Proposed Works will be fully incorporated within the existing footprint of Pentir Substation and will utilise the existing access road, storage areas, welfare facilities, office spaces, and staff car park.
- 1.8 The site of the proposed works, which is within the footprint of the existing Substation, is off the B4547 including the access road to the existing substation from the public highway. The proposed works site is approximately 4.5km south-west of Bangor. The proposed works cover approximately 1.5 hectares (ha), with the red line boundary comprising the existing access road, storage areas, welfare and office uniformity facilities, and a staff car park.
- 1.9 The site of the application sits outside the development boundary as set out in the LDP. The site also sits within a Landscape of Outstanding Historic Interest designation. A large part of the site is surrounded by a wildlife site.
- 1.10 The application is supported by the following document assessments:
 - Planning statement
 - Design and Access Statement
 - Pre-application Consultation Report (PAC)
 - An Environmental Statement together with a large number of appendices and figures which discuss all the issues raised in the Environmental Impact Assessment
 - A Net Benefit to Biodiversity and Green Infrastructure Statement

PLANNING COMMITTEE	DATE: 27/04/2026
REPORT BY ASSISTANT HEAD OF DEPARTMENT	

- A Welsh Language Statement

1.11 Due to the scale of the site, this application is defined as a major development. As part of the application, in accordance with the requirements of the Town and Country Planning (General Development Procedure) (Wales) Order, a pre-application consultation report was received. The report shows that the developer has informed the public and statutory consultees about the proposal before submitting a formal planning application. The report concluded that the seven formal responses received from statutory consultations have been given consideration.

1.12 The Environmental Statement as part of the Environmental Impact Assessment (EIA) application contains a number of documents accompanying applications for planning permission made by NGET under the Town and Country Planning Act 1990 and the Electricity Act 1989 to request powers to construct, operate and maintain elements of the Project. The Environmental Statement provides an overview of the Project, the main alternatives considered in the development of the Project (where appropriate), information about the current environment, and an assessment of the likely significant impacts of the Project. Where appropriate, mitigation measures have been identified to avoid, prevent, reduce or offset significant adverse environmental impacts.

2. Relevant Policies:

2.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 and paragraph 2.1.2 of Planning Policy Wales emphasise that planning decisions should be in accordance with the Development Plan, unless material considerations indicate otherwise. Planning considerations include National Planning Policy and the Local Development Plan.

2.2 The Well-being of Future Generations Act (Wales) 2015 places a duty on the Council to take reasonable steps in exercising its functions to meet the 7 well-being goals within the Act. This report has been prepared in consideration of the Council's duty and the 'sustainable development principle', as set out in the 2015 Act. In reaching the recommendation, the Council has sought to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs.

2.3 Anglesey and Gwynedd Joint Local Development Plan 2011-26, adopted 31 July 2017

PS 1 - The Welsh Language and Culture

PS 5 - Sustainable developments

PS 6 – Mitigating the effects of climate change and adapting to them

PS 7 - Renewable Technology

PS 19 - Conserving and where appropriate enhancing the natural environment

PS 20 - Preserving and where appropriate enhancing heritage assets

ISA 1 - Infrastructure and developer contributions

TRA 2 – Parking standards

TRA 4 - Managing transport impacts

PCYFF 1 - Development Boundaries

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PCYFF 2 – Development criteria

PCYFF 3 - Design and Place Shaping

PCYFF 4 - Design and Landscaping

PCYFF 5 - Carbon Management

ADN 3 - Other renewable and low carbon energy technologies

AT 1 - Conservation Areas, World Heritage Sites and Registered Landscapes, Parks and Historic Gardens

AT 4 - Protection of non-designated archaeological sites and their setting

AMG 5 - Local Biodiversity Conservation

2.4 National Policies:

Future Wales: The National Plan 2040

Planning Policy Wales (Edition 11 - February 2021)

TAN 5: Nature Conservation and Planning.

TAN 11: Noise

TAN 12: Design.

TAN 18: Transport.

TAN 20: Planning and the Welsh Language.

TAN 24: The Historic Environment

3. Relevant Planning History:

3.1 Application/appeal reference. Application address. Description of the proposal. Decision and date.

C26/0082/25/RA Application to discharge condition 10 of original planning permission C24/0532/25/LL to submit an archaeological report of the site before commencement of work - not decided

C26/0084/18/RA Application to discharge condition 8 from original planning permission C25/0554/18/LL to submit a written plan for archaeological works before any development takes place. - Not decided

C25/0554/18/LL - Installation of an underground electricity cable in association with Pentir BESS energy storage scheme (LPA ref: C24/0532/25/LL) Approved with conditions 26-11-2025

C25/0266/18/LL - Temporary planning permission for a period of 40 years to erect an Energy Storage System (ESS), together with associated infrastructure, site access, landscaping and

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supporting works on land at Tyddyn Forgan, Llanddeiniolen, Caernarfon, LL55 3AN. - Approved with conditions - 28-11-2025

C24/0532/25/LL - Proposed Energy Storage Facility, associated access, landscaping, infrastructure, ancillary equipment, with import and export capacity to grid connection of 57MWac. *Approved with conditions 09-09-2024*

C13/1139/18/YA A PRE-APPLICATION ENQUIRY FOR CREATION OF NEW TRACK - Approved – 19-12-2013

C16/0886/15/LL An application to install an underground 132kV grid connection cable between the Glyn Rhonwy pumped storage site and Pentir substation' - Approved with conditions on 29/07/2016.

4. Consultations:

Community/Town Council: Not received

Transportation Unit: Not received

Natural Resources Wales: Please note that for the purposes of this application, we have only considered the proposed development within the red line boundary.

We have concerns with the application as submitted. However, we are satisfied that these concerns can be overcome if the document identified below is included in the approved plans and documents condition on the decision notice:

Document - Outline Construction Environmental Management Plan, National Grid, November 2025

Please note, without the inclusion of this document we would object to this planning application. Further details are provided below.

Environmental Management

A watercourse flows through the site within close proximity of the proposed access track and substation. Due to the proximity of the watercourse, which flows into the Afon Cegin, there is a need to minimise the risk of pollution that could occur by the construction of the proposed development. If not managed properly, there may be a high risk of polluting controlled waters.

We note the submission of Outline Construction Environmental Management Plan, National Grid, November 2025 within Appendix 2.2.A of the Environmental Statement. The mitigation measures proposed in the Outline Construction Environmental Management Plan (CEMP) and supporting documents are comprehensive and

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appropriate to protect the environment, provided they are implemented rigorously and monitored effectively.

We would therefore advise that your Authority include the following document in the approved plans and documents condition on the decision notice: • Outline Construction Environmental Management Plan, National Grid, November 2025

Groundwater Protection

We note the Conceptual Site Model and Risk Assessment, National Grid, within Appendix 2.7.A of the Environmental Statement. We have no further comment in this regard.

Protected Species

No ecological information (other than an Aquatic Ecology report) for within the red line boundary has been submitted in support of this application. We recommend you seek the advice of the Local Authority's internal ecological adviser about the requirement for further information to be submitted in support of the application, the need for bespoke surveys and the scope of further information, where required.

We also note that the Downy Hemp-weed (*Galeopsis segetum*) may have historically been present in the vicinity of the site. This rare plant may still be present in the seed bank locally. We recommend that you liaise with the LPA ecologist with respect to possible measures that may restore the population of this species.

Ancient Woodland

The site is adjacent to an Ancient Woodland site. Please refer to our Natural Resources Wales / Advice to planning authorities considering proposals affecting ancient woodland for further information.

Flood Risk

The Flood Map for Planning identifies the application site to be within Flood Zone 1, and therefore at low risk of flooding. We do not have any further flood risk comments.

We recommend that you contact your colleagues in the Local Authority Drainage Department for further advice in relation to the proposed site drainage. We advise that any proposed surface water drainage scheme should ensure that run-off from the proposed development is reduced or will not exceed existing runoff rates. Details of adoption and management should also be submitted to ensure that the scheme/systems remain effective for the lifetime of the development.

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National Landscape

Due to the distance and sense of separation from the Eryri National Park, direct notable impacts on the National Park or its setting are not anticipated during the construction and operational phases. Effects are considered negligible and not significant.

Dŵr Cymru: Observations and guidance for the applicant in their letter dated 22/01/2026

Public Protection Unit: Noise

The Environmental Statement (ES), Volume 2, Chapter 11, assesses the likely effects of noise and vibration associated with construction resulting from works at Pentir Substation. The assessment covers underlying conditions, sensitive receptors, anticipated impacts, and proposed mitigation measures.

The baseline assessment has conducted a desktop review of the site and anticipated noise levels. The nearest noise-sensitive property is Gamekeepers Cottage, Rhos Fawr, Lôn Tŷ'n Llwyn, Pentir, LL56 4QE which is 310m away from the development site. The site is a rural area, and has been identified as one of a quiet rural character, where construction noise potentially has more of a perceived impact. The methodology for noise predictions for construction has been the ABC method within BS5228-1, category A. The Service agrees with this category for this location.

The following worst predicted noise levels in the nearest noise-sensitive properties have been reported as concrete fracturing (62 dB LAeq,T), trenching (51 dB LAeq,T) and restoration/compression (49 dB LAeq,T).

Future baseline noise: it was noted that no new developments have been planned near Pentir, although the Design and Access document lists the proposed development in and around the site:

- install an underground 132 kV grid connection cable between the Glyn Rhonwy pumped storage site and Pentir substation.
- Energy Storage Facility approved (C24/0532/25/LL)
- The installation of an underground electricity cable in association with Pentir BESS energy storage scheme has been approved (LPA ref: C25/0554/18/LL)
- A temporary planning permission to erect an Energy Storage System

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has been approved (C25/0266/18/LL).

A cumulative noise assessment should be carried out due to the number of applications that have been permitted in this area.

The Service requires for the following matters to be explained before supporting the application

- The Construction assessment is based on one piece of equipment working at any given time. Could the applicant confirm whether or not this is true, or will several be operating simultaneously? How many excavators, rollers, concrete cutters? If several different/identical construction equipment are operating at the same time, a predicted noise level will be required for all operating machinery.

- Confirmation regarding the noise generated from the foundations of the new cable sealing ends, will these cables increase low frequency noise from the site during operation as operational noise has not been included in the assessment?

- Why hasn't a cumulative construction noise assessment been carried out? Due to the number of other construction developments that will take place in and around this area.

2.2A Outline Construction Environmental Management Plan: November 2025

The OCEMP has outlined that there will be noise from machinery, excavation, concrete breaking, and vehicle movements. Dust could arise from digging, stockpiles, vehicle movements and material breakage. Vibration would be mainly from impact machinery, piles, cutting and the movements of heavy vehicles. The project commits to using Best Practice Methods (BPM) in accordance with BS5228-1/-2. It will be essential that noise monitoring is carried out throughout the construction phase to ensure that the levels outlined in the noise report are also followed. A competent person must carry out and record this. All records must be made available to an officer from the Service or Planning Authority.

In order to control dust, the OCEMP states that dust monitoring should be carried out before and during construction activities. Once again, such monitoring must be recorded. Screens/barriers around dusty activities/stockpiles, covered stockpiles and suspension will also be used to control dust levels.

Before the construction activities take place, the detailed Construction Environmental Management Plan (CEMP) should be submitted and approved, including noise, vibration and dust management plans. The details relating to noise, vibration and dust mitigation measures outlined in the OCEMP should be included in the CEMP. The

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document must include a complaint response procedure and a log book to be provided to Council officers.

The services do not agree with the proposed working hours which are within the Environmental Action Plan for the Workplace (OCEMP). These are 07:00–19:00 Monday to Friday, 08:00-18:00 Saturday. No working on Sundays/Bank Holidays. As this development is proposed to be completed in 2030, these hours would not provide enough respite for nearby residents.

- The Service recommends that the working hours specified by the Service be set under the conditions of 08:00-18:00 Monday to Friday, 08:00-13:00 Saturday without working on Sundays or bank holidays.

Air Quality

The service has reviewed Chapter 10: Air Quality and Emissions of the Environmental Statement (ES) (ES-Vol-2-Pentir-10-Air-Quality-and-Emissions). This section confirms that the current air quality in the study area is good, with pollutant concentrations within the national Air Quality Objectives for protecting human health. There are no residential receptors within 250m of the works. Based on the information provided, we would recommend that the mitigation measures outlined in paragraph 10.9 be conditioned and included in the CEMP. Due to other work in the area, it is essential that dust does not leave the site and that it is contained.

Contaminated land

A desk-top study should be undertaken to ensure land is not contaminated. If unexpected contamination is found during development, all works must cease immediately. The LPA must be notified within 48 hours and an appropriate investigation/mitigation strategy submitted for approval. Work shall not recommence until written approval has been given.

Conclusion

The Service needs clarification on the above issues before we can support the application. If approval is granted prior to receiving this explanation, the Service would recommend the following;

- Audible construction activities at the site boundary will be limited to: 08:00-18:00 Monday to Friday, 08:00-13:00 on Saturdays and not at all on Sundays or Bank Holidays. Noisy activities, such as concrete cutting, will not take place until after 08:00am

- No development to commence until a site-specific Construction Environmental Management Plan (CEMP) has been submitted to the Planning Department and approved. The plan should build on and comply with the Outline CEMP (National Grid, November 2025), and include: Noise and Vibration Management Plan (compliant with

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BS5228-1 and 2) Dust and Air Quality Management Plan (continuous monitoring strategy; IAQM principles) Traffic management and construction supply investigation and reporting procedures

- During construction, noise levels resulting from site activities should not exceed: 65 dB LAeq (1 hour) during the day 55 dB LAeq (1 hour) at night/weekends 45 dB LAeq (1 hour) at night Measured at the façade of the nearest noise-sensitive building.

- A noise monitoring plan should be in place at least 7 days prior to commencement and throughout construction.

- A desk-top study should be undertaken to ensure land is not contaminated. If unexpected contamination is found during development, all works must cease immediately. The LPA must be notified within 48 hours and an appropriate investigation/mitigation strategy submitted for approval. Work shall not recommence until written approval has been given.

Reason: To safeguard the amenity of nearby receptors throughout the development

Footpaths Unit

It does not appear that there are any Rights of Way recorded that will be affected by this proposal.

Land Drainage Unit:

The SAB does not have any objections to this planning application.

HENEB:

Thank you for the below consultation and apologies for the very delayed response. I am writing to confirm that I have reviewed the submitted documents relevant to the historic environment, in particular Chapter 6 of the EIA and the supporting Historic Environment Desk-Based Assessment (EIA appendix 2 6). The DBA is very thorough and well written, and I am in agreement with the conclusions of this and the EIA chapter. Accordingly, I can confirm that there appear to be no significant archaeological implications for this element of the scheme and no further archaeological work is recommended here

Welsh Government Trunk roads Unit:

I refer to your consultation of 06/01/2026 regarding the above planning application and advise that the Welsh Government as highway authority for the A487 trunk road directs that any permission granted by your authority shall include the following conditions:

- 1) The applicant shall submit to the Local Planning Authority, a Construction Traffic Management Plan (CTMP) that shall

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be to the satisfaction of the Welsh Government, as Overseeing Organisation for the Strategic Road Network (SRN).

- 2) AILs associated with the development shall be delivered strictly in accordance with a Traffic Management Plan (TMP) as shall be agreed with the relevant highway authority. In this respect, the TMP shall be submitted to and approved in writing by Welsh Government as Welsh trunk road highway authority or other relevant highway authority (as appropriate) prior to the commencement of any works. The TMP shall include:
 - a. proposals for transporting AILs from their point of entry to the Welsh trunk road network to the site that minimise any impact on the safety and free flow of trunk road traffic
 - b. evidence of trial runs that mimic the movement of the worst case AILs along the access route where appropriate, at the discretion of the Highway Authority
 - c. number and size of AILs, including loaded dimensions and weights
 - d. number and composition of AIL convoys, including anticipated escort arrangements
 - e. methodology for managing trunk road traffic during AIL deliveries, including identification of passing places and holding areas as necessary
 - f. convoy contingency plans in the event of incidents or emergencies
 - g. estimated convoy journey durations and timings along the route, including release of forecast traffic queues
 - h. swept path analysis modelling the movement of the worst case AILs at all potential horizontal and vertical constraints along the access route where appropriate, at the discretion of the Highway Authority
 - i. proposals for the temporary or permanent modification of any affected street furniture along the access route and details of how this would be managed
 - j. plans for the reinstatement of any temporary works after completion of the construction phase
 - k. land ownership must be clarified on all drawings showing proposed highway modifications. The developer shall be responsible for the acquisition and reinstatement of all third-party land including reinstatement of boundary features
 - l. proposals to liaise with all relevant stakeholders and members

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of the public regarding construction traffic and AIL movements

m. consideration of the cumulative impact of other abnormal load generating schemes proposing to use all or part of the same access route AILs associated with the maintenance and decommissioning of the development shall leave the site strictly in accordance with a TMP as shall be agreed with the relevant highway authority. In this respect, the TMP shall be submitted to and approved in writing by Welsh Government as Welsh trunk road highway authority or other relevant highway authority (as appropriate) prior to the commencement of any removal, replacement of decommissioning works.

3) No development works shall be undertaken until full details of any highway works associated with the construction of layover areas, passing places and highway improvements as agreed with each relevant highway authority including:

- a. the detailed design of any works
- b. geometric layout
- c. construction methods
- d. drainage, and
- e. street lighting

have been submitted to and approved in writing by the local planning authority following consultation with the Welsh Government as Welsh trunk road highway authority or other relevant highway authority (as appropriate).

The highway works shall be completed in accordance with the approved details prior to the commencement of any AIL deliveries to the development site.

No development works shall be undertaken until the developer demonstrates rights of access to all proposed works that are not part of the highway network to the satisfaction of the local planning authority.

Biodiversity Unit: Not received

Public Consultation: A notice was posted on the site and nearby residents were notified. The advertisement period has expired and no letter / correspondence of objection was received

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5. Assessment of the relevant planning considerations:

The principle of the development

- 5.1 It is mandatory for planning applications to be determined in accordance with the adopted development plan, unless other material planning considerations state otherwise. The Anglesey and Gwynedd Joint Local Development Plan (LDP) is the adopted 'Development Plan' in this case.
- 5.2 In terms of general policies, Policy PCYFF 1 states that proposals outside development boundaries will be refused unless they are in accordance with specific policies in the plan or national planning policies or that the proposal shows that its location in the countryside is essential. In this case, justification has been given in the Planning Statement and this application is part of a significant project across North Wales to upgrade resources. The National Energy System Operator (NESO) is responsible for identifying how the national electricity transmission system needs to be adapted to meet the challenges of connecting new electricity infrastructure, reducing carbon emissions and better protecting energy sources. NESO's analysis shows that there is insufficient transmission capacity in the existing network in North Wales to link envisaged additional large-scale power generation developments, particularly from offshore renewable energy projects in the Irish Sea.
- 5.3 Increasing capacity on the existing transmission line between Pentir and Trawsfynydd substations has been identified as a step that urgently needs to be taken to provide more transmission capacity. This is acknowledged by Ofgem (Great Britain's energy regulator), who have identified the necessary works as an Accelerated Strategic Transmission Investment (ASTI). The applicants therefore sought a suitable site for the development in the lands around the Substation and an assessment of the selection process was submitted.
- 5.4 Policy ISA 1 supports proposals for water, electricity, gas services etc. to improve provision, subject to detailed planning considerations. The policy states that it is important that the infrastructure provision for a development site is located and designed in a way that minimises the impact on the natural and built environment. It is therefore accepted that, given the availability of an appropriate site that is environmentally acceptable, there is justification for developing this facility in a rural location.
- 5.5 Although the development is not a renewable energy scheme in itself, it would form part of the support network that could be used in managing the renewable supply. To this end, it can be considered part of the renewable energy network, and as such policy ADN 3 of the LDP applies. This policy sets a series of criteria for considering proposals for renewable energy technologies, and this scheme will be assessed in the context of those policies below:

1. All impacts have been adequately mitigated.

- 5.6 Natural Resources Wales has concerns about the development but are prepared to accept the development subject to conditions to ensure that the 'Outline Construction Environmental Management Plan, National Grid, November 2025' document is included as a condition in the application's plans.
- 5.7 In considering the above information, despite the lack of comments from the Biodiversity Unit, it is noted that the proposal is located entirely within the operational area of the existing Pentir substation. It is noted that parts of the area outside the substation have been designated as wildlife

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sites. All works will be carried out within the boundaries of the existing substation so there will be a minimal on biodiversity around the site.

- 5.8 Planning Policy Wales confirms (paragraph 6.4.3) "Recognising that development work is necessary and will have an impact on biodiversity to an extent, the planning system should ensure that there is an overall net benefit to biodiversity and ecosystem resilience that will lead to improving well-being". Paragraph 6.4.5 of PPW also confirms "Planning authorities must seek to maintain and enhance biodiversity in the exercise of their functions. This means that developments should not cause significant loss in terms of habitats or populations of species, locally or nationally, and the development must work alongside nature and provide a net benefit for biodiversity and improve the productivity of ecosystems or allow that to happen. A net benefit to biodiversity is the concept that development should leave biodiversity and ecosystem resilience in a significantly better state than it was before, by ensuring long-term, measurable and demonstrable benefits, primarily on-site or adjacent to it".
- 5.9 A Green Infrastructure Statement was received as part of the application, which includes biodiversity improvements, together with a number of reports such as birds, bats, trees etc. An Outline Construction Environmental Management Plan (CEMP) (Volume 8, Appendix 2.2.A) notes the measures to mitigate the effects of construction on biodiversity, to include those pertaining to dust, air pollution, pollution incidents, water quality, light, noise and vibrations. Paragraph 5.8.9 from Volume 2, Chapter 5: Ecology and Nature Conservation notes the measures to avoid habitats during the construction work.
- 5.10 The proposed works have avoided any impact on habitats and species on the site while adhering to existing hard floor areas and have proposed species-specific improvement measures to ensure net benefit which are outlined in the Green Infrastructure Statement. These improvements include installing three bird and bat boxes. The National Grid will be responsible for managing and monitoring these boxes to achieve a net benefit to biodiversity. A five-year monitoring and maintenance programme will be implemented, along with annual inspections to assess the condition of the boxes, presence and use by species. Monitoring results will be recorded and reviewed annually to inform adaptive management.
- 5.11 It is therefore believed that the proposal complies with Criterion 1 of Policy ADN3 in terms of its biodiversity impact, and it also aligns with the objectives of policies PS 19 and AMG 5 of the LDP together with the principles of PPW.

2. The proposal would not be harmful to visual amenities

- 5.12 A Landscape and Visual Impact Assessment (LVIA) was submitted with the application. The conclusions of that work were that the proposed development would have a very low level of visual impact on the landscape due to the proposed works being carried out at the current sub-station. The effects on landscape character and visual amenities would be temporary and difficult to detect as they occur within the context of the substation's existing infrastructure which has been screened by existing surrounding vegetation. As a result of the limited and temporary nature of any potential change, no significant negative effects arise.
- 5.13 Overall, while accepting that there would be a small impact on the site itself, we do not believe that this would be detrimental to the quality and character of the wider landscape and we consider that

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the local landscape would have the capacity to accommodate the proposed development without significant adverse effects.

- 5.14 Although the site is situated within a Landscape of Outstanding Historic Interest, it would not be prominent in the landscape and it is not believed that it would have a significant harmful effect on the important features of the landscape. When viewing the site from several viewpoints in the local area, it is accepted that the Landscape and Visual Impact Assessment received is reasonable and we therefore believe that the proposal meets this criterion along with policies AT 1, PCYFF 2 and PCYFF 4 as they take into account visual amenities.

3. There will be no significant unacceptable impacts on nearby sensitive uses

- 5.15 There are several residential properties within 1km of the site and a Noise Survey was submitted with the application. This report assesses the impact of the proposed development conducted of the area within 300m of the Pentir site to identify any noise-sensitive receptors that may be affected by the proposed works. Sensitive receptors that may be affected by noise include, but are not limited to, residential properties, educational centres, places of worship, hospitals, and hotels. The site is a rural area, and has been identified as one with a quiet rural character, where construction noise potentially has more of a perceived impact. The methodology used for noise predictions for construction has been the ABC method within BS5228-1, category A. The Public Protection Service agrees with this category for this location. The following worst predicted noise levels in the nearest noise-sensitive properties have been reported as concrete fracturing (62 dB LAeq,T), trenching (51 dB LAeq,T) and restoration/compression (49 dB LAeq,T). The noise assessment identifies the least damaging temporary impact on the site in the worst-case scenario. Construction noise mitigation works are included in the Environmental Construction Management Plan report.
- 5.16 Representations were received from the Public Protection unit requesting a cumulative noise assessment due to the number of applications that have been granted in the area, requesting clarification on specific issues. However, the Public Protection Unit also proposes conditions to ensure that the proposal is acceptable, despite any cumulative impact that would, ultimately, be a temporary impact. As a result, it is considered reasonable in this case to impose conditions on the permission in order to ensure compliance with the requirements of Public Protection.
- 5.17 Provided that appropriate conditions to control the noise generated by the facility are imposed, it is considered that the development is acceptable and complies with the requirements under policy PCYFF 2 of the LDP as well as this criterion from policy ADN 3 as it relates to protecting private amenities.

4. There would be no unacceptable impact on water quality

- 5.18 The Flood Map for Planning states that the site of the application is within Flood Zone 1, and therefore at low risk of flooding. Natural Resources Wales have no further comments regarding flood risk. NRW is also satisfied with the 'Conceptual Site Model and Risk Assessment' within Annex 2.7.A of the Environmental Statement. There would be no unacceptable effect on water quality therefore.

5. Previously used buildings / land should be used

- 5.19 The Proposed Works Site is defined as a brownfield site as it is occupied by the existing substation. All work is being completed within the existing site so using previously used land.

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6. There would be no unacceptable cumulative impact on the landscape.

- 5.20 Given the fairly concealed location of the proposed development, with existing screening, it is believed that this development blends in with the current nature of the landscape rather than creating an unacceptable cumulative effect.

7. Where appropriate, the equipment shall be removed from the site at the end of the scheme's life.

- 5.21 The equipment installed on site is mostly underground but it is believed that it would be appropriate to impose a condition to ensure that the equipment is removed from the site when the need for the facility ceases.

Summary

- 5.22 Having given consideration to the above assessment, we believe the application meets all the relevant criteria and that the proposal is therefore acceptable in principle and complies with the requirements of policy ADN 3 of the LDP.
- 5.23 In addition to the above, Policy ISA 1 of the LDP encourages the permitting of applications for electricity services in order to improve the local provision. Similarly, policies PCYFF 5, PS 5, PS 6 and PS 7 are supportive of schemes for the development of renewable technologies that contribute to protecting the environment and mitigating climate change, and accepting that this proposal forms part of a supporting network that supplements an efficient "green" energy system, it is believed that the scheme meets the objectives of these policies.

Transport and access matters

- 5.24 Once it is operational, there will be no demand for additional vehicular access to the site and there will be no long-term impacts on highway safety deriving from the development. Comments were not received from the Council's Highways Unit but the Assembly's Transport Unit is satisfied with the development subject to conditions they have included in their comments. It is noted that there is no intention to make any changes to the entrance. We therefore believe that the proposal complies with the requirements of Policies TRA 2 and TRA 4 of the LDP in terms of highway safety and convenience.

Heritage and Archaeology Matters

- 5.25 There are a number of Scheduled Ancient Monuments in the site's vicinity and the application is accompanied by a Historic Environment Assessment assessing the impact of the proposed development on those features. It confirms that the proposed development will not have a detrimental impact on any of the settings of the local designated sites. Therefore, the application is acceptable under policy PS 20 of the LDP in relation to heritage features.
- 5.26 From an archaeological perspective, Heneb (Gwynedd Archaeological Planning Service) noted that Chapter 6 of the Environmental Impact Assessment and Historic Environment Desktop Assessment were Desktop assessments. HENEb notes that the desktop assessment is very thorough and well-written. HENEb agrees with the findings of the document and chapter of the EIA. Accordingly, HENEb can confirm that no significant archaeological implications appear and no further archaeological work is recommended here. To this end, the application meets the requirements of policy AT 4 of the LDP relating to the protection of sites of archaeological importance from harm.

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Language Matters

- 5.27 In accordance with the Planning (Wales) Act 2015, it is a duty when making a decision on a planning application to consider the Welsh language, where it is relevant to that application. This is reiterated further in paragraph 3.28 of Planning Policy Wales (Edition 12, 2024), and also Technical Advice Note 20. The Supplementary Planning Guidance (SPG) 'Maintaining and Creating Distinctive and Sustainable Communities' (adopted July 2019), provides further guidance on how it is expected for Welsh language considerations to be incorporated in each relevant development.
- 5.28 It is noted that there are some specific types of developments where the proposal will be required to submit a Welsh Language Statement or Report on the Welsh Language Impact Assessment. The thresholds in terms of when it is expected to submit a Statement/Report have been highlighted in Policy PS1 of the Joint LDP, along with Diagram 5 of the SPG. In terms of the types of developments in question, the following are noted: This particular proposal does not reach the thresholds to submit a Welsh Language Statement or a Report on a Welsh Language Impact Assessment. However, Appendix 5 of the SPG notes that every housing, retail, commercial or industrial development where there is no need to submit a Welsh Language Impact Statement/Assessment should demonstrate how consideration has been given to the language.
- 5.29 The proposal presented is for installing an underground cable at the Pentir substation and associated works. A Welsh Language Statement has been submitted as part of the application. The Statement has considered the potential impacts of Pentir's proposed works on the use of the Welsh language in the local community. The key considerations had scored each category as positive (short term), irrelevant or neutral, so they had not identified any adverse effects on the use of Welsh in the Main Economic Impact Area. Although no adverse effects were identified in the assessment, the report proposes measures to ensure that the use of the Welsh language is maintained. The measures such as the use of bilingual signage for the Project and on affected routes and Public Rights of Way will be accompanied by other measures which are outlined in part 7 of the report.

6. Conclusions:

- 6.1 The proposal includes a number of development elements that needed to be considered under many other planning policies and environmental legislation. It was considered that the principle of the main aspects of the development, which include work to install underground cables with the current site of the Pentir sub-station, together with associated works, was acceptable given all planning matters, including local and national planning policies and guidance.
- 6.2 The Environmental Statement has assessed the impact on the environment and it was concluded that, with the imposition of planning conditions, that the impacts of the development could be satisfactorily mitigated and environmental features protected.
- 6.3 The visual and landscape impacts were considered acceptable as the works were within an already developed site. The development is believed to satisfactorily safeguard the amenities of residential properties around the site.
- 6.4 The proposed development will extend and improve electricity connections across North Wales. The economic benefits have been acknowledged and no harm to the Welsh Language was identified.

PLANNING COMMITTEE	DATE: 27/04/2026
REPORT BY ASSISTANT HEAD OF DEPARTMENT	

6.5 The proposal has demonstrated that the development would not cause any increase in risk to life nor any significant risk to property. Also, it is considered that the work would protect heritage and archaeology related matters.

6.6 Given the above, and having considered all the relevant planning matters, including local and national policies and guidance, as well as the observations received during the statutory consultation period from the statutory consultees, and from local residents and the planning history, it is deemed that this proposal is acceptable and in accordance with the relevant policies, as noted in the above assessment.

7. Recommendation:

7.1 To approve – conditions

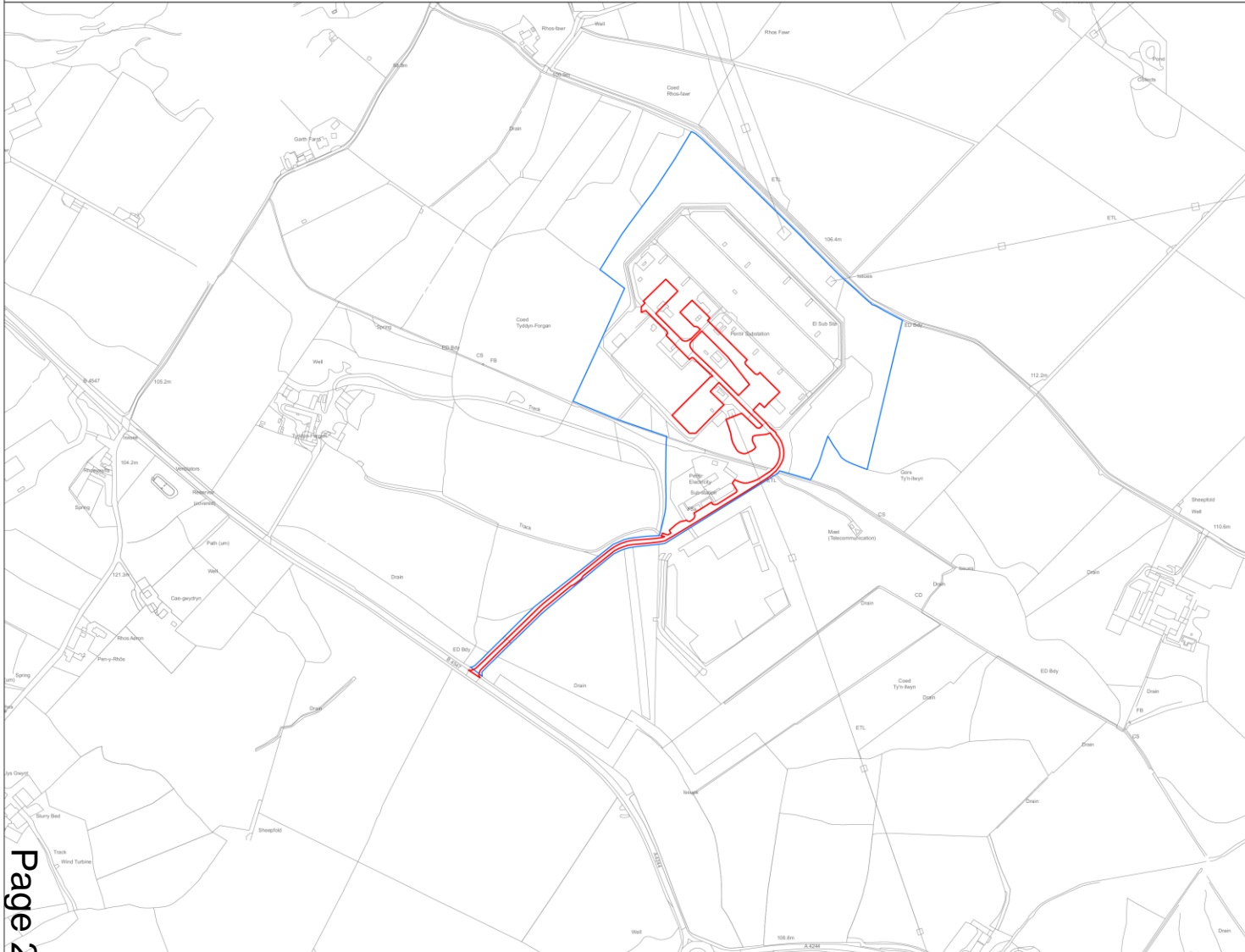
1. 5 years
2. In accordance with the plans, all recommendations in the documents and assessments, and the approved Environmental Statement.
3. Public Protection Conditions
4. Trunk Road Conditions
5. Compliance with the Green Infrastructure Statement along with future maintenance work.
6. Ensure bilingual signage with priority given to the Welsh language.



SITE LOCATION PLAN

- Legend**
- Boundary of the Proposed Works
 - Land in control of the applicant

24/12/25
ADRAN CYLLUNIO - CYNGOR GWYNEDD



Notes
This drawing is scaled at paper size A1, therefore any prints taken at smaller sizes will affect accuracy of the measurement units and should not be scaled against.



Coordinate System: British National Grid
Sheet X Centred Coordinate: 295704 ESE Sheet Y Centred Coordinate: 313562 S2N
0 125 250 Metres

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Issue	Date	Remarks	Drawn	Checked	Approved

Title

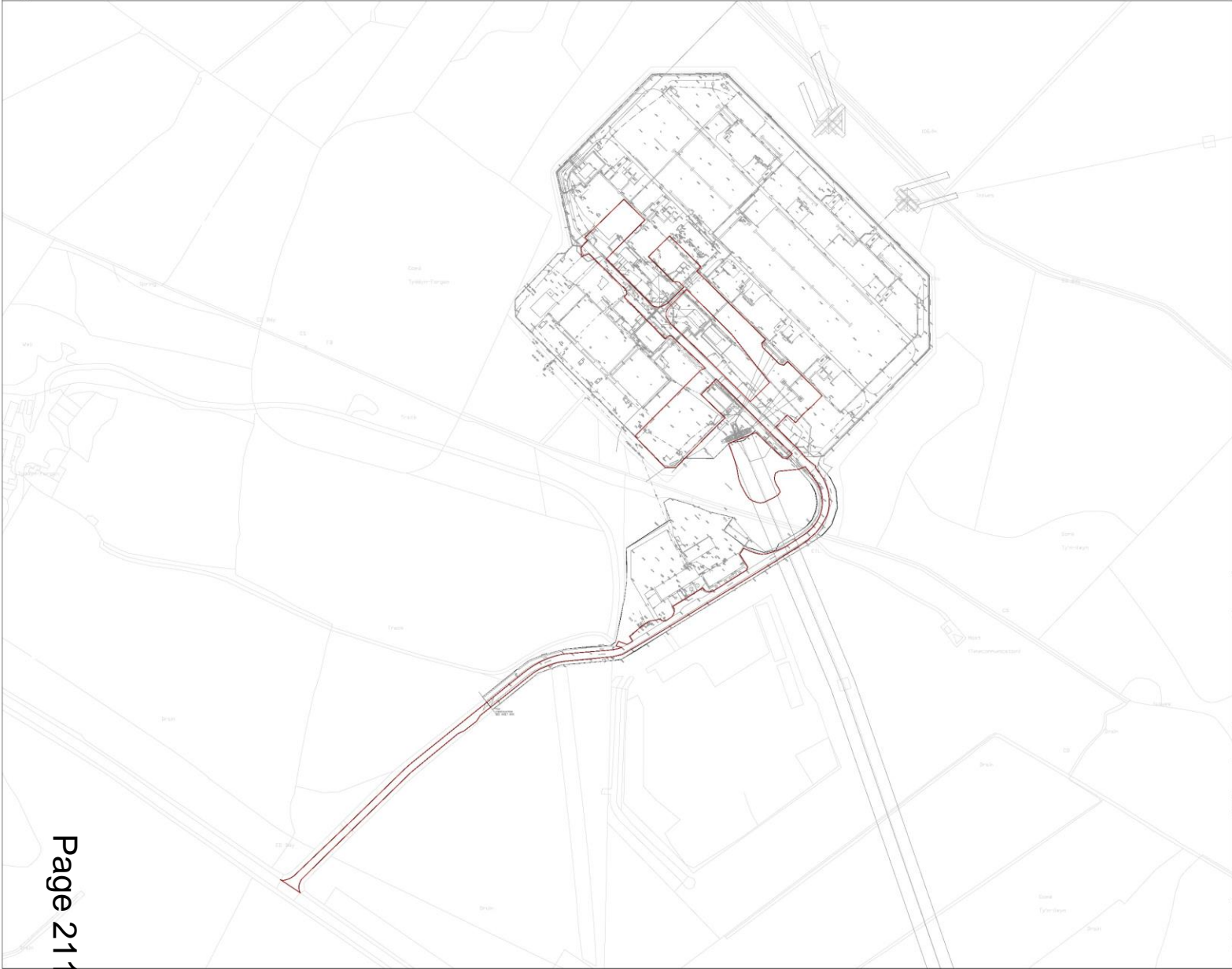
SITE LOCATION PLAN

nationalgrid

Figure Number PTC1PTNO - PENTIR

Drawing Reference PTNO-WSP-SS52-C00484-DRW-CP-000001

Scale	Sheet Size	Sheet	Issue
1:2,500	A1	SHEET 1 OF 1	1



Legend

- APPLICATION SITE BOUNDARY
- EXISTING PENTIR SUBSTATION

24/12/25

ADRAN CYLLUNIO - CYNGOR GWYNEDD

Notes

This drawing is sealed at paper size. All dimensions are given unless stated otherwise and all without accuracy of the measurement is made and should be sealed against.

Scale Bar

20m 10m 0m 50m 100m

1:500

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PD	Date	REVISIONS	TM	WT	RW
1	20/06/25	FIRST ISSUE			

Title

PENTIR
EXISTING SITE LAYOUT
(FOR TCA)

Client

nationalgrid

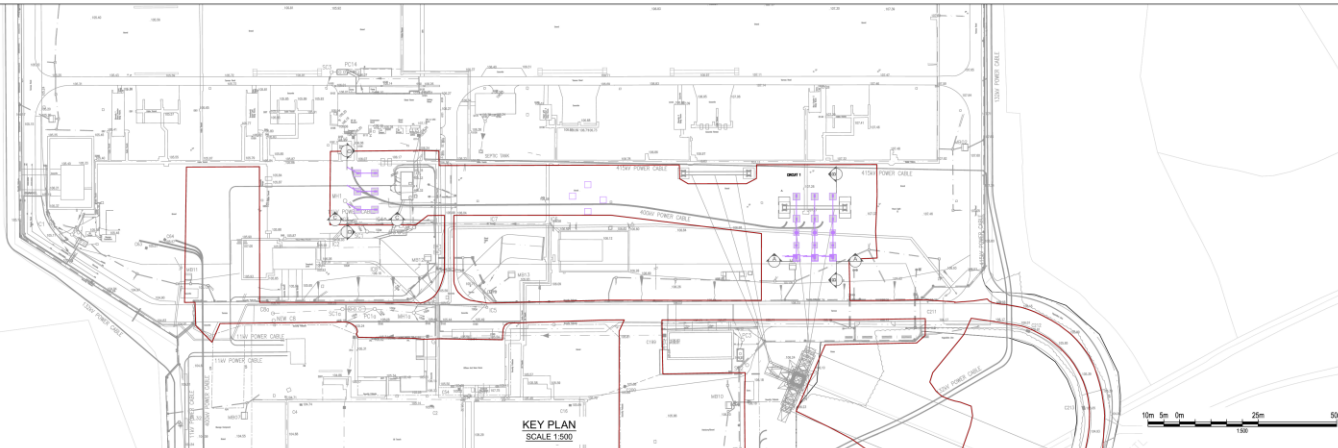
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PTC1 - PENTIR - PEA TSH

Drawing Reference

PTPMD-950-5502-C0004-C000-C0-000000

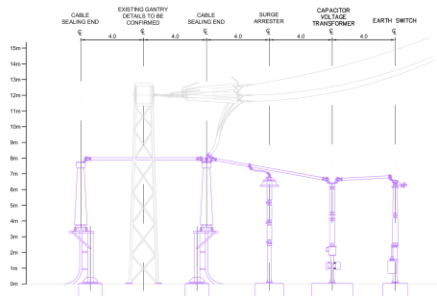
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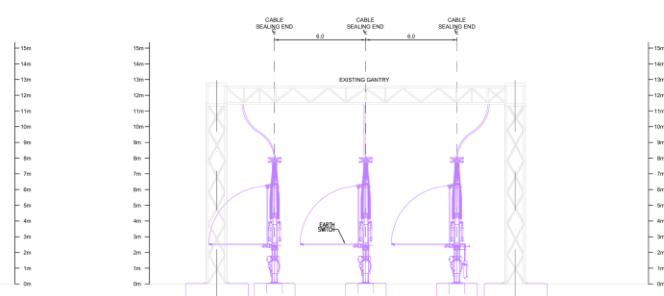
- Legend**
- APPLICATION SITE BOUNDARY
 - PROPOSED ABOVE GROUND EQUIPMENT
 - EXISTING PENNTR SUBSTATION
 - PROPOSED PLANT FOUNDATIONS

11/12/25

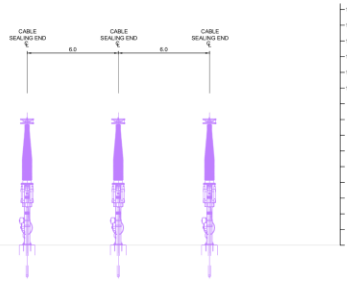
DERBYN - CYNLLUNIO, CYNGOR GWYNEDD



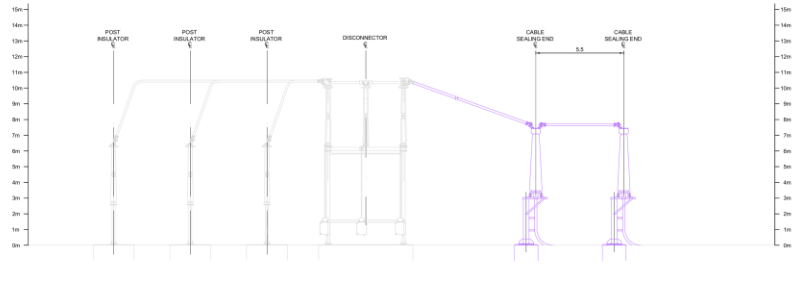
SECTION B-B



SECTION A-A



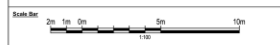
SECTION D-D



SECTION C-C

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PENTR
EXISTING AND PROPOSED SECTIONS
(FOR TCPA)

nationalgrid

Figure Number: PTC1 / PTC2 - PENTR

Drawing Reference: PTC1-WSP-8885-0048-DRW-CP-00004

Scale	Sheet Size	Sheet	Block
1:100	A0	SHEET 1 OF 1	1



24/12/25
 ADRAN CYNLLUNIO - CYNGOR GWYNEDD



- Legend**
- APPLICATION SITE BOUNDARY
 - - - EXISTING PIPE SECTION
 - PROPOSED UNDERGROUND CABLE ROUTES

Note
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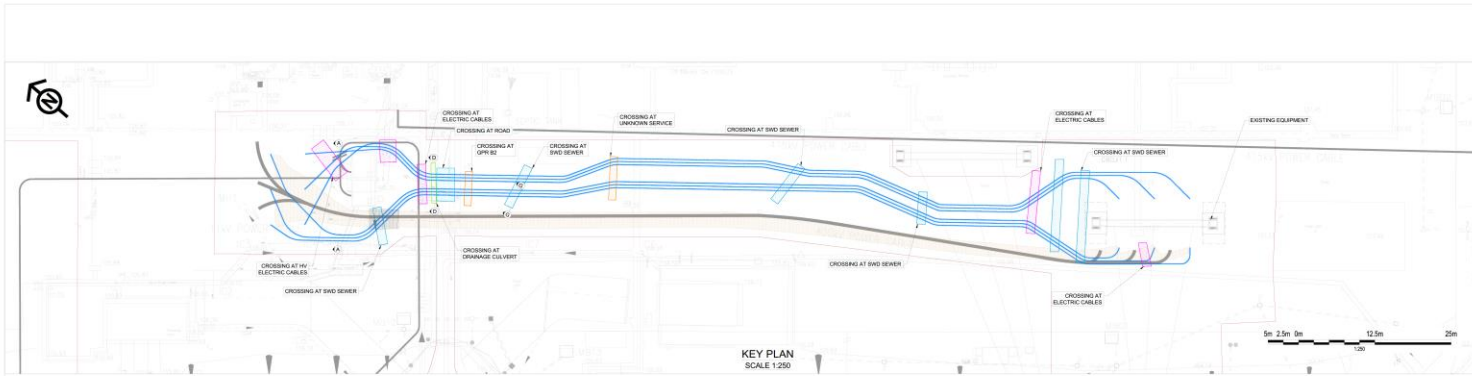
Site:
 PENTIR
 PROPOSED UNDERGROUND WORKS
 (FOR TCPA)

nationalgrid

Drawing Number: PFCU/PFUD - PENTIR

Drawing Reference: PFCU-ASP-SS22-COMBA-DRW-CP-000003

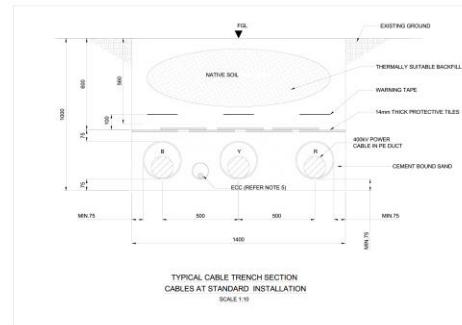
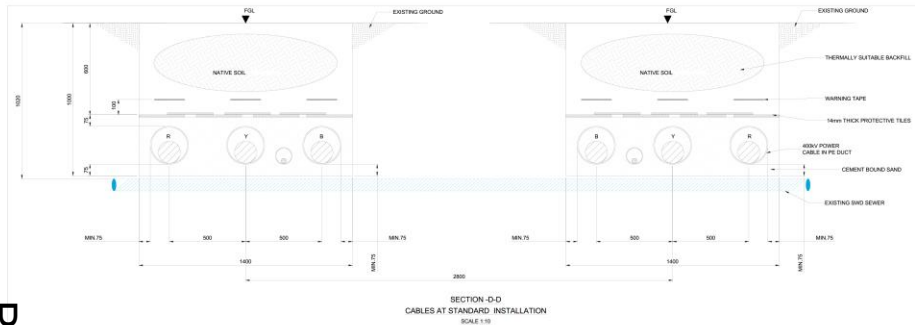
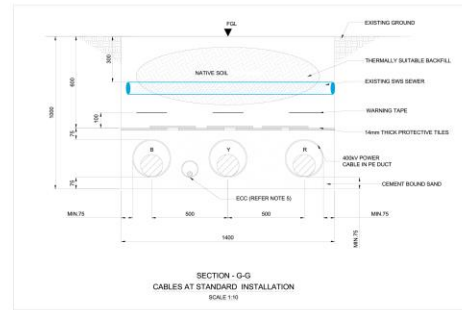
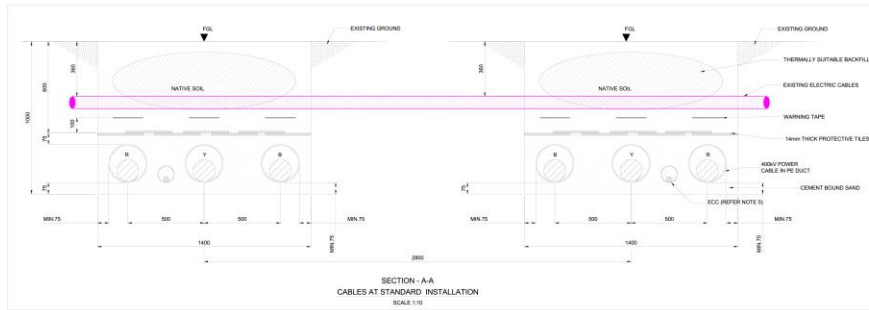
Scale	Sheet Size	Sheet	Total
1:500	A3	SHEET 1 OF 1	1



- Legend**
- APPLICATION SITE BOUNDARY
 - PROPOSED UNDERGROUND CABLE ROUTES
 - EXISTING EQUIPMENT
 - EXISTING POINTS TRANSFER ABOVE GROUND CABLE CIRCUIT
 - PROPOSED ROAD CROSSING
 - PROPOSED SWD SEWER CROSSING
 - PROPOSED HV ELECTRIC CABLE CROSSING
 - PROPOSED UNKNOWN SERVICE CROSSING
 - PROPOSED BANK OF CABLE CROSSING
 - PROPOSED DRAINAGE CULVERT CROSSING

- GENERAL NOTES**
1. THE LOCATION OF THE NEW EQUIPMENTS SHOWN WITHIN THIS DRAWING WILL BE DETERMINED BASED ON SUFFICIENT CLEARANCE FROM THE OVERHEAD LINE CHALLENGING OF THE EXISTING LINE BAYS. THIS CLEARANCE WILL BE REVIEWED CONSIDERING STORAGE OF ADJACENT BAYS & MEET ACCESS & EGRESS DURING THE SITE VISIT OR IN THE NEXT PROJECT STAGE.
 2. ECC IS NOT SHOWN FOR CLARITY.

08/12/25
ADRAN CYLLUNIO - CYNGOR GWYNEDD



Notes
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PO: 12/09/25	FIRST ISSUE	TM	MT	RA
Issue Date	Remarks	Drawn	Checked	Approved
Title				

PENTIR
PROPOSED PLAN AND CROSS SECTIONS
FOR THE UNDERGROUND WORKS
(FOR TCPA)

nationalgrid

Figure Number: PFC1-PFND - PENTIR
Drawing Reference: PFND-WP-0002-COMB-DRW-CP-000000
Scale: 1:10 Sheet Size: A0 Sheet: SHEET 1 OF 1 Issue: 1





